



*At the Heart of Community*

COMMUNITY DEVELOPMENT DEPARTMENT

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LakeZurich.org

AGENDA ITEM

7A

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## MEMORANDUM

Date: July 6, 2020

To: Ray Keller, Village Manager *PK*

From: Sarosh Saher, Community Development Director

CC: Tim Verbeke, Planner  
Mary Meyer, Building Services Supervisor

Re: **Zoning Application for 23 and 35 West Main Street; 22 and 28 Park Avenue**  
Redevelopment of the former Bank of America Building  
Vela Carina LLC – Don and Cindy Malin

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### Issue

Vela Carina LLC represented by Don and Cindy Malin, (the “Applicants”) and the current owners of the property, have filed a zoning application for the property commonly referred to as the “former Bank of America building.” The development is proposed on the assemblage of properties at 23 and 35 West Main Street; and 22 and 28 Park Avenue (the “Subject Property”). The Applicants are proposing to renovate the existing bank building and establish a variety of approved uses on the subject property along with associated site improvements. The Subject Property is located within the Village’s B-2 Central Business district, the DR Downtown Redevelopment Overlay District and the R-5 Single-family Residential district. Specifically, the Applicants are seeking:

- Text amendments to the B-2 Central Business District and DR Downtown Redevelopment Overlay District to allow the land use “Theatrical Producers (except Motion Picture) (792)” as a new special use and to add the special use for “Drive-through facilities accessory to permitted eating places, grocery stores, and drugstores and proprietary stores” now authorized in the B-1 and B-3 Districts, to the B-2 Central Business District;
- Special Use Permit for a Planned Unit Development (PUD) for the redevelopment of seven parcels that comprise the assemblage of properties;
- Special Use Permits to establish various uses including but not limited to Theatrical Producers (except Motion Picture) (792), Commercial Photography and Commercial Art and Graphic Design (733), micro-brewery (manufacture of beverages, 208) and/or tasting rooms, salon/spa (Physical Fitness Facilities 7991), drive-through facility, outdoor seating, and uses accessory to a permitted use for live entertainment including outdoor

- entertainment such as outdoor lawn bowling, volleyball, bocce ball courts, shuffle board courts, and miniature golf, etc., and accessory to a restaurant (eating place);
- Site Plan Review and Exterior Appearance Review to approve the Applicant's proposed design on the Property.

**2014-2019 Strategic Plan:** This agenda item is consistent with the following objectives under Goal #2, Development:

- Continue implementation of the 6-point Downtown Redevelopment Plan
- Revitalization of Downtown (Main Street Area)
- Expand the Village's role as a major regional economic hub in Lake County.
- Become more business friendly and customer oriented

### **Analysis**

The currently vacant building was operated as a Bank of America Financial Institution between 1985 and 2010. The Applicants have acquired the building and are now proposing to demolish the interior and reconfigure it as a multi-tenant commercial/retail building.

The primary changes from the existing configuration include:

- Reconfiguring and upgrading the exterior elevations and interiors of the building in keeping with modern design and building standards;
- Constructing a new parking lot at the rear of the building;
- Constructing a drive-through facility along the northeast side of the building;
- Constructing an outdoor entertainment area on the southeast portion of the property between the building and the parking lot per tenant requirements;

The applicants are proposing a drive-through window on the northeast side of the renovated building. They hope to provide a space with a drive-through window that will attract occupants such as a coffee shop or small cafe.

The Planning and Zoning Commission (PZC) held an electronic (virtual) public hearing on May 20, 2020 to consider the application and voted 7-0 in favor of recommending approval of the project.

During the public hearing, concerns regarding the unusual circulation pattern were raised by members of the PZC. The circulation is designed to allow for access to the drive-through lane along the northeast side of the building and conveniently allow vehicles to exit the property with a right hand turn to travel east-bound on Main Street. The right-hand exit out of the drive-through lane will reduce the impact on traffic along Main Street.

In light of these concerns, the village recommended and the Applicants agreed to install proper and adequate signage at the various vehicular entry and exit locations to properly guide traffic and minimize conflict.

There were no objections to the project by any adjacent residents or commissioners.

On closing the public hearing, the PZC voted to recommend approval of the project with an additional condition – that the petitioner work with Village Staff to make necessary changes to the traffic patterns and signage at the Main Street entrance and exits to the property to address safety concerns as the need arises or when evidence is provided. These changes will be submitted to village for review and approval and not require further amendment of the PUD.

The video stream from the PZC meeting can be accessed via the link:

<https://view.earthchannel.com/PlayerController.aspx?&PGD=lakezurichil&eID=450>

A detailed evaluation and summary of the project can be found in the Staff Report that was provided to the Planning and Zoning Commission, which is made a part of the attached Ordinance.

### **Changes since the Public Hearing.**

Following the close of the PZC public hearing on May 20, the Applicant revised the site plan to additionally facilitate vehicle movements as they exit the drive-through lane onto Main Street, and was prepared to present the application at the June 15, 2020 meeting of the Village Board.

However, shortly thereafter, the adjacent property owner informed the Applicant that he was no longer willing to allow the project's drive-through lane to encroach onto his property. The adjacent property owner, Mr. Bestios of Offbeat Music, cited reasons that the loss of the approximately 5-foot wide sliver and the required cross-access arrangement would impact the value of his property as it was being marketed for sale. In light of this, the Applicant and his team have revised the proposal to establish the drive-through lane entirely on the subject property. To accommodate the change, the building corner at that location needed to be chamfered (removal of the corner) to allow for the required width of driveway to fit entirely on the subject property. The Applicant believes that the provision of such a drive-through lane is important to the success of attracting the right tenant to the property.

The revised drive-through lane address the recommendations of the PZC for the flow and safety of vehicular traffic onto and off the property and removes the unusual traffic pattern along the property's frontage along Main Street.

### **Recommendation.**

At their meeting on May 20, 2020, the Planning and Zoning Commission recommended approval of the requested zoning relief incorporating the conditions for approval provided by staff in its report and with the added condition.

Staff has reviewed the revisions to the traffic circulation and finds that they are in substantial conformance with the overall proposal as reviewed and recommended by the PZC.

Staff therefore recommends approval of the attached ordinance, with its specific attachments based on the following conditions for approval that are contained within said ordinance:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
  - a. Zoning Application and Cover Letter dated March 17, 2020, and prepared by Don and Cindy Malin.
  - b. Exhibit A: Legal Description of the Subject Property
  - c. ALTA/NPS Land Title Survey of Bank Lots prepared by Heritage Land Consultants, LLC, dated December 4, 2019.
  - d. ALTA/NPS Land Title Survey of Village-owned lots prepared by Precision Land Surveyors, Inc., d/b/a Teratek, Inc., dated February 11, 2020.
  - e. Exterior Remodel for 35 West Main Street, Sheets 1 through 9 prepared by Gino Romozzi, Architect, consisting of the following:
    - i. Existing North and East elevations, last revised on June 28, 2020
    - ii. Existing South and West elevations, last revised on June 28, 2020
    - iii. Main Street and Drive-through (Proposed) elevations, last revised on June 28, 2020
    - iv. Park Avenue and Parking Lot elevations, last revised on June 28, 2020
    - v. Park Avenue and Parking Lot elevations (with optional rear deck) last revised on June 28, 2020
    - vi. Basement Plan, last revised on June 28, 2020
    - vii. First Floor Plan, last revised on June 28, 2020
    - viii. Garbage Enclosure (Trash Enclosure) plan and elevations, prepared on April 28, 2020
    - ix. Screening Fence details, prepared on April 28, 2020
  - f. Civil Set for Drive-through and new parking lot Sheets C1-C10 prepared by Dan Greco, PE, and last revised June 25, 2020, including the following exhibits:
    - i. Cover Sheet
    - ii. Existing Conditions Plan
    - iii. Demolition Plan
    - iv. Soil Erosion and Sedimentation Control (SESC) Plan
    - v. Geometric Site Plan
    - vi. Landscape Plan
    - vii. Detail Sheets (3 sheets)
2. The new parking lot shall be properly screened with the required amount of landscaping and buffering plant material as required by the village code. Additionally, foundation landscape material shall also be added along the southeasterly portion of the building. The design and materials may take the form of shrubs, ornamental trees, shade trees or evergreens. The final landscape plan shall be approved by village staff prior to issuance of land development/building permits.

3. The petitioner shall work with Village Staff to make necessary changes to the traffic patterns and signage at the Main Street entrance and exits to the property to address safety concerns as the need arises or when evidence is provided. These changes will be submitted to village for review and approval and shall not require further amendment to the Planned Unit Development.
  4. All graphics and signage shall be designed and constructed on compliance with the requirements of the Sign Code (Title 12).
  5. Compliance with the requirements of Sections 9-4-4 and 9-9-1 of Chapters 4 and 9 of Title 9 of the Village Code regarding accessory uses to a lawful principal use for live entertainment including outdoor entertainment such as outdoor lawn bowling, volleyball, bocce ball courts, shuffle board courts, and miniature golf, etc., and accessory to a restaurant (eating place) on the Property.
  6. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.
- Approval Ordinance including the following exhibits
    - Exhibit A – Legal description of the subject property
    - Exhibit B – May 20, 2020 staff report and planning and zoning commission recommendation/conditions, and accompanying documentation

ORDINANCE NO. 2020-\_\_\_\_\_ - \_\_\_\_\_

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT FOR A  
PLANNED UNIT DEVELOPMENT,  
AMENDING CHAPTERS 4 AND 7 OF THE  
VILLAGE OF LAKE ZURICH ZONING CODE AND  
GRANTING SPECIAL USE PERMIT APPROVAL FOR VARIOUS USES**  
*Former Bank of America Property – 23 and 35 West Main Street; 22 and 28 Park  
Avenue*

WHEREAS, Vela Carina, LLC represented by Don and Cindy Malin, is the applicant and owner (the “Applicant”) for a Planned Unit Development (the “PUD”), an amendment to the Village of Lake Zurich Zoning Code and special use permits for the properties at 23 and 35 West Main Street; and 22 and 28 Park Avenue (the “Property”), all of said Property legally described in **Exhibit A** and attached hereto; and

WHEREAS, the Property is comprised of seven parcels, five of which are located at the 23 and 35 West Main Street addresses, and which are currently improved with a vacant bank building and associated parking lot, all owned by the Applicant; and

WHEREAS, the Developer is seeking to further utilize as part of the PUD the adjacent two parcels located at the 22 and 28 Park Avenue addresses which are currently vacant and owned by the Village of Lake Zurich (the “Village”); and

WHEREAS, the Applicant intends to redevelop and utilize the vacant building and adjoining premises on the Property with a variety of land uses including but not limited to the following special uses, with reference to standard industrial zoning classification numerical categories (“SIC #”), where applicable, Theatrical Producers (except Motion Picture) (792), Commercial Photography and Commercial Art and Graphic Design (733), micro-brewery (manufacture of beverages, 208) and/or tasting rooms, salon/spa (Physical Fitness Facilities 7991), drive-through facility, and outdoor seating, and uses accessory to a permitted use for live entertainment including outdoor entertainment such as outdoor lawn bowling, volleyball, bocce ball courts, shuffle board courts, and miniature golf, etc., accessory to a restaurant (eating place) on the Property; and

WHEREAS, to induce the redevelopment of the Property with this PUD and uses, the Village has agreed to a partnership with the Applicant, the provisions, terms and conditions for which partnership are contained within that agreement approved by Ordinance No. 2020-01-356 entitled “An Ordinance Approving a Redevelopment Agreement by and between the Village of Lake Zurich, Lake County, Illinois and Vela Carina, LLC” on January 29, 2020; and

WHEREAS, Ordinance No. 2020-01-356 provides for the conveyance of the Village-owned properties at 22 and 28 Park Avenue to the Applicant in order to provide an additional area for an outdoor venue and/or vehicle parking along with other forms of in-kind and financial incentives; and

WHEREAS, the Applicant has filed zoning application PZC 2020-02 dated March 17, 2020 (the "Application") seeking approval of the following:

- Text amendments to the B-2 Central Business District and DR Downtown Redevelopment Overlay District to allow the land use "Theatrical Producers (except Motion Picture) (792)" as a new special use and to add the special use for "Drive-through facilities accessory to permitted eating places, grocery stores, and drugstores and proprietary stores" now authorized in the B-1 and B-3 Districts, to the B-2 Central Business District;
- Special Use Permit for a Planned Unit Development (PUD) for the redevelopment of seven parcels that comprise the assemblage of properties;
- Special Use Permits to establish various uses including but not limited to Theatrical Producers (except Motion Picture) (792), Commercial Photography and Commercial Art and Graphic Design (733), micro-brewery (manufacture of beverages, 208) and/or tasting rooms, salon/spa (Physical Fitness Facilities 7991), drive-through facility, outdoor seating, and uses accessory to a permitted use for live entertainment including outdoor entertainment such as outdoor lawn bowling, volleyball, bocce ball courts, shuffle board courts, and miniature golf, etc., and accessory to a restaurant (eating place);
- Site Plan Review and Exterior Appearance Review to approve the Applicant's proposed design on the Property.

WHEREAS, in compliance with the law and the requirements of the Village of Lake Zurich Zoning Code, notice was published on May 4, 2020, in The Daily Herald, and the Village posted a public hearing sign on the Property on May 5, 2020, both the newspaper and sign notices informing the public of an electronic (virtual) public hearing to be held before the Lake Zurich Planning and Zoning Commission on May 20, 2020, to consider the Application for this requested zoning authority and relief; and

WHEREAS, the Lake Zurich PZC received and considered the STAFF REPORT dated May 20, 2020, which was provided to the PZC for the hearing, addressing the request for approval of said PUD, Text Amendments, Special Use Permits and Site Plan and Exterior Appearance Review and uses accessory to a permitted principal use and considered the standards and applicable factors required under Section 9-22-5 of Chapter 22, Section 9-4-3 of Chapter 4, Section 9-7D-5 of Chapter 7, Article D, Section 9-19-3 of Chapter 19, Section 9-18-3 of Chapter 18, Section 9-20-3 of Chapter 20, Section 9-21-3 of Chapter 21 and Sections 9-4-4 and 9-9-1 of Chapters 4 and 9, all contained within Title 9 of the Village Code, and after the conclusion of the public hearing, the PZC recommended that the Board of Trustees approve the zoning approvals requested in this Application, with those conditions of approval recommended by Village staff and an additional condition; and

WHEREAS, the President and Board of Trustees of the Village of Lake Zurich met on June 15, 2020, and considered the findings and recommendations of the PZC, including the STAFF REPORT dated May 20, 2020, all consisting of 19 pages, said

required zoning standards, findings and recommendations attached hereto as Exhibit B and having considered all of the facts and circumstances in support of and affecting the Application and these recommended approvals, the President and Board of Trustees have determined that the applicable standards related to these zoning approvals have been met.

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Board of Trustees of the Village of Lake Zurich, Lake County, Illinois, as follows:

**SECTION 1: ADOPTION AND INCORPORATION OF RECITALS.** The foregoing recitals, findings, recommendations, exhibits and plans are incorporated herein as findings and requirements of the President and Board of Trustees, and all Exhibits referenced herein are made a part of and incorporated into this Ordinance and related approvals, except as otherwise provided below.

**SECTION 2: APPROVAL OF AMENDMENT TO THE TEXT OF SECTION 9-4-3 OF CHAPTER 4 OF THE VILLAGE ZONING CODE.** The Mayor and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Section 9-18-3 of Chapter 18 of the Lake Zurich Zoning Code, hereby approve an amendment to Subsections C.14, of Section 9-4-3 entitled "SPECIAL USES" of Chapter 4 entitled "BUSINESS DISTRICTS" of Title 9 entitled "ZONING" of the Village of Lake Zurich Municipal Code which current authorizes "Drive-through facilities accessory to permitted eating places, grocery stores, and drugstores and proprietary stores" as special uses in the B-1 and B-3 Districts by adding said special use for drive-through facilities to the B-2 Central Business District to the current provisions of Subsection C. 14, of said Section 9-4-3 of Chapter 4, as shown in the provisions italicized, bold and underscored, to read as set forth below:

Chapter 4  
BUSINESS DISTRICTS

9-4-3: SPECIAL USES:

Except as specifically limited, the uses listed in the following table may be permitted in the Business Districts indicated subject to the issuance of a special use permit as provided in chapter 19 of this title. In interpreting the use designations, reference should be made to the "Standard Industrial Classification Manual", the North American industry classification system, and chapter 15 of this title. SIC codes and NAICS codes, where applicable, are given in parentheses following each use listing.

		B-1	B-2	B-3
C.	Retail trade:			
14.	Drive-through facilities accessory to permitted eating places, grocery stores, and drugstores and proprietary stores	S	<b><u>S</u></b>	S



**SECTION 3: APPROVAL OF AMENDMENT TO THE TEXT OF SECTION 9-4-3 OF CHAPTER 4 OF THE VILLAGE ZONING CODE.** The Mayor and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapter 18 of the Lake Zurich Zoning Code, hereby approve an amendment to Section 9-4-3 entitled "SPECIAL USES" of Chapter 4 entitled "BUSINESS DISTRICTS" of Title 9 entitled "ZONING" of the Village of Lake Zurich Municipal Code by adding the following new subsection E. 18 entitled to the current provisions of said Section 9-4-3 of Chapter 4, as shown in those provisions italicized, bold and underscored, to read as set forth below, with all of the subsections listed as special uses after this new subsection E.18, renumbered accordingly:

		B-1	B-2	B-3
E.	Services:			
17.	Dance studios, schools, and halls (7911)	S	S	S
<b><u>18.</u></b>	<b><u><i>Theatrical Producers (except Motion Picture)</i></u></b> <b><u><i>(SIC # 792)</i></u></b>	=	<b><u>S</u></b>	=
<b><u>19.</u></b>	Bowling centers (793)	-	-	S

**SECTION 4: APPROVAL OF AMENDMENT TO THE TEXT OF SECTION 9-7D-5 OF CHAPTER 7, ARTICLE D OF THE VILLAGE ZONING CODE.** The Mayor and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapter 18 of the Lake Zurich Zoning Code, hereby approve an amendment to Subsection A. 1 of Section 9-7D-5 entitled "SPECIAL USES" of Chapter 7, Article D entitled "DR DOWNTOWN REDEVELOPMENT OVERLAY DISTRICT" of Title 9 entitled "ZONING" of the Village of Lake Zurich Municipal Code by adding the following new subparagraph 6 entitled and designated "Theatrical Producers (except Motion Picture) (792)" to the current provisions of said Subsection A. 1 of Section 9-7D-5 of Chapter 7, Article D, as shown in those provisions italicized, bold and underscored, to read as set forth below::

**ARTICLE D. DR DOWNTOWN REDEVELOPMENT OVERLAY DISTRICT**

**9-7D-5: SPECIAL USES:**

- A. Special Uses On First Story Abutting Main Street Or Old Rand Road: The following uses and no others may be authorized on the first story (street level) of any building in the DR Overlay District on property that abuts Main Street or Old Rand Road, subject to the issuance of a special use permit as provided in chapter 19 of this title:
1. Drinking places (5813) accessory to permitted eating places, or accessory to a special use granted at subsection 9-4-3J1 of this title and this section.
  2. Garden supplies, tools, and nursery stock stores (526) in existence and operation within the B-2 Central Business District as of January 1, 2004.

3. Outdoor seating accessory to permitted eating places, or accessory to a special use granted at subsection 9-4-3J1 of this title and this section.
4. Live entertainment accessory to permitted eating places, or accessory to a special use granted at subsection 9-4-3J1 of this title and this section.
5. Beauty shops (723), barbershops (724), and full service beauty and health spas.
6. **"Theatrical Producers (except Motion Picture) (792)"**
7. Drive-through facilities accessory to permitted eating places, grocery stores, and drugstores and proprietary stores
8. Such other Retail Sales Tax generating uses as the Board of Trustees determines are consistent with the uses stated in this subsection A and in subsection 9-7D-4A of this article and that are consistent with and promote the goals and purposes set forth in section 9-7D-1 of this article.

In interpreting the use designations, reference should be made to the "Standard Industrial Classification Manual", the North American industry classification system, and chapter 15 of this title.

**SECTION 5: GRANT OF A PLANNED UNIT DEVELOPMENT (PUD) AND PLAN MODIFICATIONS AND CONDITIONS.** The President and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapters 19, 20, 21 and 22 of Title 9 of the Lake Zurich Zoning Code and Title 10 of the Lake Zurich Land Development Code, hereby grant the following zoning approval(s), as shown and provided in the STAFF REPORT dated May 20, 2020, and final findings and recommendations of the Planning and Zoning Commission, all consisting of 19 pages:

- A. The Planned Unit Development and Final Plan for the Property, attached hereto and made a part hereof as Exhibit B, to authorize the redevelopment of the vacant building and associated parking lot and vacant parcels in accordance with the standards for the grant of a special use permits set forth at Chapter 19, Section 9-19-3 of the Zoning Code of the Village of Lake Zurich entitled "Standards for Special Use Permits," in accordance with the procedures for a planned unit development set forth at Chapter 22, Section 9-22-4 of the Zoning Code of the Village of Lake Zurich and in accordance with the standards for the grant of a planned unit development set forth at Chapter 22, Section 9-22-5 of the Zoning Code of the Village of Lake Zurich entitled "Standards for Planned Unit Developments."
- B. The foregoing approvals for the PUD and related approvals, shall be further subject to the following conditions:
  1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
    - a. Zoning Application and Cover Letter dated March 17, 2020, and prepared by Don and Cindy Malin.
    - b. Exhibit A: Legal Description of the Subject Property

- c. ALTA/NPS Land Title Survey of Bank Lots prepared by Heritage Land Consultants, LLC, dated December 4, 2019.
  - d. ALTA/NPS Land Title Survey of Village-owned lots prepared by Precision Land Surveyors, Inc., d/b/a Teratek, Inc., dated February 11, 2020.
  - e. Exterior Remodel for 35 West Main Street, Sheets 1 through 9 prepared by Gino Romozzi, Architect, consisting of the following:
    - i. Existing North and East elevations, last revised on June 28, 2020
    - ii. Existing South and West elevations, last revised on June 28, 2020
    - iii. Main Street and Drive-through (Proposed) elevations, last revised on June 28, 2020
    - iv. Park Avenue and Parking Lot elevations, last revised on June 28, 2020
    - v. Park Avenue and Parking Lot elevations (with optional rear deck) last revised on June 28, 2020
    - vi. Basement Plan, last revised on June 28, 2020
    - vii. First Floor Plan, last revised on June 28, 2020
    - viii. Garbage Enclosure (Trash Enclosure) plan and elevations, prepared on April 28, 2020
    - ix. Screening Fence details, prepared on April 28, 2020
  - f. Civil Set for Drive-through and new parking lot Sheets C1-C10 prepared by Dan Greco, PE, and last revised June 25, 2020, including the following exhibits:
    - i. Cover Sheet
    - ii. Existing Conditions Plan
    - iii. Demolition Plan
    - iv. Soil Erosion and Sedimentation Control (SESC) Plan
    - v. Geometric Site Plan
    - vi. Landscape Plan
    - vii. Detail Sheets (3 sheets)
2. The new parking lot shall be properly screened with the required amount of landscaping and buffering plant material as required by the village code. Additionally, foundation landscape material shall also be added along the southeasterly portion of the building. The design and materials may take the form of shrubs, ornamental trees, shade trees or evergreens. The final landscape plan shall be approved by village staff prior to issuance of land development/building permits.
3. The petitioner shall work with Village Staff to make necessary changes to the traffic patterns and signage at the Main Street entrance and exits to the property to address safety concerns as the need arises or when evidence is provided. These changes will be submitted to village for review and approval and shall not require further amendment to the Planned Unit Development.

4. All graphics and signage shall be designed and constructed on compliance with the requirements of the Sign Code (Title 12).
5. Compliance with the requirements of Sections 9-4-4 and 9-9-1 of Chapters 4 and 9 of Title 9 of the Village Code regarding accessory uses to a lawful principal use for live entertainment including outdoor entertainment such as outdoor lawn bowling, volleyball, bocce ball courts, shuffle board courts, and miniature golf, etc., and accessory to a restaurant (eating place) on the Property.
6. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

**SECTION 6: GRANT OF SPECIAL USE PERMITS.** The Mayor and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and Chapter 9 (Section 9-4-3) and Section 9-19-3 of Chapter 19 of the Lake Zurich Zoning Code, hereby grant the following approvals, as shown and provided in the STAFF REPORT dated May 20, 2020, and final findings and recommendations of the PZC, all consisting of 19 pages:

Special Use Permits granting approval for the establishment of the following land uses within the B-2 Central Business District and the DR Downtown Redevelopment Overlay District:

- Theatrical Producers (except Motion Picture) (792)
- Commercial Photography and Commercial Art and Graphic Design (733),
- Micro-brewery (manufacture of beverages, 208) and/or accompanying tasting rooms
- Salon/spa (Physical Fitness Facilities 7991)
- Drive-through facility accessory to permitted eating places
- Outdoor seating accessory to permitted eating places

**SECTION 7: MODIFICATIONS FROM THE PROVISIONS OF THE ZONING CODE.** The President and Board of Trustees, pursuant to the authority vested in them under the laws of the State of Illinois and the Lake Zurich Zoning Code, hereby grant the following modifications to such Codes:

- A. The Applicant shall be granted a modification to construct a 6-foot high fence in the side yard adjoining the adjacent residential district properties to separate the proposed parking lot from the residences; whereas Section 8-11-1.F.2 requires that fences in Interior Side and Rear Yards not exceed a maximum height of 5 feet.

**SECTION 8: FINDINGS IN SUPPORT OF APPROVAL OF GRANT OF TEXT AMENDMENTS.** The findings, conditions and recommendations as set forth in the STAFF REPORT dated May 20, 2020, and the PZC recommendation, all consisting of 19 pages, along with the filings provided to the PZC, are hereby accepted as the Board's own,

are incorporated herein by this reference and shall be made a part of the official record for the Application and this grant of approval of the text amendment.

**SECTION 9: FINDINGS IN SUPPORT OF APPROVAL OF GRANT OF SPECIAL USE PERMITS, PUD AND SITE PLAN AND EXTERIOR APPEARANCE REVIEWS.** The findings, conditions and recommendations as set forth in the STAFF REPORT dated May 20, 2020, and the PZC recommendations, all consisting of 19 pages, along with the filings provided to the PZC, are hereby accepted as the Board's own, are incorporated herein by this reference and shall be made a part of the official record for the Application.

**SECTION 10: SEVERABILITY.** If any section, paragraph, subdivision, clause, sentence or provision of this Ordinance shall be adjudged by any Court of competent jurisdiction to be invalid, such judgment shall not affect, impair, invalidate or nullify the remainder thereof, which remainder shall remain and continue in full force and effect.

**SECTION 11: CONFLICTS.** All ordinances or parts of ordinances in conflict herewith are hereby repealed only to the extent of such conflict.

**SECTION 12: EFFECTIVE DATE.** This Ordinance shall be in full force and effect upon its passage and approval, as provided by law.

**SECTION 13: LIMITATIONS.** Subject to an extension of time granted by the Village Manager, the Special Use Permit for the subject Planned Unit Development shall be valid for a period no longer than two (2) years unless a building permit is issued and construction is actually begun within that period and is thereafter diligently pursued to completion. In the event of the expiration of the Planned Unit Development, the Village further reserves the right to require the Owner to apply for and request approval for a new planned unit development to proceed with development of the Subject Property.

**SECTION 14: BINDING EFFECT; SUCCESSION IN INTEREST.** This Ordinance shall constitute a covenant running with the land and be binding upon and inure to the benefit of the parties hereto, their successors in interest, assignees, lessees, and upon any successor municipal authorities of the Village and successor municipalities. Except as otherwise expressly provided herein, upon the conveyance or assignment by Owner and Applicant of their interest in the Subject Property to any successor, assign or nominee, Owner shall be released from any and all further liability or responsibility under this Ordinance except to the extent previously undertaken by Owner, or for which Owner has posted security to perform an obligation in which case Owner shall be bound to continue to complete its performance unless a replacement bond or letter of credit is posted by a new owner, and accepted by the Village, which shall not be unreasonably withheld. In such event, the Owner shall be released from the underlying obligation to perform. The Village shall thereafter look only to the successor, assign, or nominee of duties and obligations of Owner hereby undertaken.

PASSED THIS \_\_\_\_\_ day of \_\_\_\_\_, 2020.

Ayes:  
Nays:  
Absent:  
Abstain:

APPROVED this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

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Mayor Tom Poynton

ATTEST:

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Village Clerk Kathleen Johnson

**EXHIBIT A**  
**Legal Description of Subject Property**

PARCEL 1: THAT PART OF LOTS 1 & 2 DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT A POINT ON THE NORTHWESTERLY LINE OF SAID LOT 1, WHICH IS 38 FEET NORTHEASTERLY OF THE MOST WESTERLY CORNER OF SAID LOT 1; THENCE SOUTHWESTERLY PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT 1, 110.05 FEET; THENCE NORTHEASTERLY TO A POINT ON THE NORTHEASTERLY LINE OF SAID LOT 2, WHICH IS 133.85 FEET NORTHWESTERLY OF THE MOST EASTERLY CORNER OF LOT 3; THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT 2, TO THE MOST NORTHERLY CORNER THEREOF; AND THENCE SOUTHWESTERLY ALONG THE NORTHWESTERLY LINE OF SAID LOTS 1 AND 2 TO THE PLACE OF BEGINNING, IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS.

PARCEL 2: A PART OF LOT 1 IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS, TO WIT: BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF SAID LOT 1, 35 FEET NORTHEASTERLY OF THE MOST WESTERLY CORNER OF SAID LOT 1; THENCE SOUTHEASTERLY PARALLEL TO THE SOUTHWESTERLY LINE OF SAID LOT 1, 115 FEET; THENCE NORTHEASTERLY, PARALLEL TO THE NORTHWESTERLY LINE OF SAID LOT 1, 3 FEET; THENCE NORTHWESTERLY PARALLEL TO THE SOUTHWESTERLY LINE OF SAID LOT 1, 115 FEET TO THE NORTHWESTERLY LINE OF SAID LOT 1; THENCE SOUTHWESTERLY ALONG THE NORTHWESTERLY LINE OF SAID LOT 1, 3 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY ILLINOIS.

PARCEL 3: THAT PART IN PARK AVENUE IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTHEASTERLY LINE OF MAIN STREET (FORMERLY ROBERTSON AVENUE) EXTENDED STRAIGHT SOUTHWESTERLY, 0.28 FEET FROM THE POINT OF INTERSECTION OF SAID SOUTHEASTERLY LINE

OF MAIN STREET AND THE NORTHEASTERLY LINE OF SAID PARK AVENUE (SAID PINT OF INTERSECTION BEING THE MOST WESTERLY CORNER OF LOT 1 IN AFOREMENTIONED F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK; THENCE NORTHEASTERLY ALONG THE AFORESAID EXTENDED SOUTHEASTERLY LINE OF MAIN STREET, 0.28 FEET TO SAID POINT OF INTERSECTION; THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE OF PARK AVENUE (BEING ALSO THE SOUTHWESTERLY LINE OF SAID LOT 1 ONE IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK), 117.00 FEET; THENCE SOUTHWESTERLY ALONG A LINE PERPENDICULAR TO SAID NORTHEASTERLY LINE OF PARK AVENUE, 0.28 FEET; THENCE NORTHWESTERLY ALONG A STRAIGHT LINE, 117.00 FEET, MORE OR LESS, TO THE POINT OF BEGINNING IN LAKE COUNTY, ILLINOIS.

PARCEL 4: LOT 16, (EXCEPT THAT PART THEREOF, DESCRIBED AS FOLLOWS: COMMENCING AT THE MOST EASTERLY CORNER OF SAID LOT; THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT, 66 FEET; THENCE SOUTHWESTERLY TO THE MOST WESTERLY CORNER OF SAID LOT; THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT TO THE MOST SOUTHERLY CORNER THEREOF; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LINE OF SAID LOT TO THE PLACE OF BEGINNING), AND ALL OF LOTS 17, 18 AND 19 IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS.

PARCEL 5: THAT PART IN PARK AVENUE IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT 1 (SAID CORNER BEING ON THE SOUTHEASTERLY LINE OF ROBERTSON AVENUE); THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 1, 125 FEET; THENCE NORTHEASTERLY ON A LINE PARALLEL WITH SAID SOUTHEASTERLY LINE OF ROBERTSON AVENUE, 35 FEET; THENCE NORTHWESTERLY ON A LINE PARALLEL WITH THE NORTHEASTERLY LINE OF PARK AVENUE, 125 FEET TO SAID SOUTHEASTERLY LINE OF ROBERTSON AVENUE, THENCE SOUTHWESTERLY ALONG SAID SOUTHEASTERLY LINE OF ROBERTSON AVENUE, 35 FEET TO THE POINT OF BEGINNING, (EXCEPTING THERE FROM THAT PART OF LOT 1, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON SAID SOUTHWESTERLY LINE OF LOT 1, THAT IS 117 FEET SOUTHEASTERLY OF SAID MOST WESTERLY CORNER OF LOT 1; THENCE CONTINUING SOUTHEASTERLY



ALONG SAID SOUTHWESTERLY LINE OF LOT 1, 8 FEET TO A POINT THAT IS 125 FEET SOUTHEASTERLY OF SAID MOST WESTERLY CORNER OF LOT 1; THENCE NORTHEASTERLY ALONG A LINE PARALLEL WITH THE NORTHWESTERLY LINE OF SAID LOT 1, 35 FEET; THENCE NORTHWESTERLY ALONG A LINE PARALLEL WITH SAID SOUTHWESTERLY LINE OF LOT 1, 10 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE TO THE POINT OF BEGINNING), IN LAKE COUNTY, ILLINOIS.

PARCEL 1: LOT 3 (EXCEPT THE SOUTHEASTERLY 66 FEET THEREOF) AND THAT PART OF LOTS 1 AND 2 LYING SOUTHEASTERLY OF A LINE DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF SAID LOT 2 WHICH IS 133.85 FEET NORTHWESTERLY OF THE MOST EASTERLY CORNER OF SAID LOT 3; THENCE SOUTHWESTERLY 89.13 FEET TO A POINT WHICH IS 110.5 FEET SOUTHEASTERLY OF THE NORTHEASTERLY LINE OF SAID LOT 1, AS MEASURED PARALLEL TO THE SOUTHWESTERLY LINE OF SAID LOT 1, 4.5 FEET; THENCE SOUTHWESTERLY PARALLEL TO THE NORTHWESTERLY LINE OF SAID LOT 1, 3 FEET; THENCE SOUTHWESTERLY 35.05 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID LOT 1, 117 FEET SOUTHWESTERLY OF THE MOST WESTERLY CORNER OF SAID LOT 1 IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERLY CORNER OF SAID PARCEL 2: THE SOUTHEASTERLY 66.00 FEET OF LOT 3 IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS.

**EXHIBIT B**

**May 20, 2020 staff report and planning and zoning commission  
recommendation/conditions, and accompanying documentation**



*At the Heart of Community*

COMMUNITY DEVELOPMENT DEPARTMENT

505 Telser Road  
Lake Zurich, Illinois 60047

(847) 540-1696  
Fax (847) 726-2182  
LakeZurich.org

**APPLICATION PZC 2020-02**  
**PZC Hearing Date: May 20, 2020**

**AGENDA ITEM 4.B**

**STAFF REPORT**

To: Chairperson Stratman and Members of the Planning & Zoning Commission

From: Sarosh Saher, Community Development Director

CC: Mary Meyer, Building Services Supervisor  
Tim Verbeke, Planner

Date: May 20, 2020

Re: 2020-02 – 23 and 35 West Main Street; 22 and 28 Park Avenue  
Redevelopment of the former Bank of America Building

**SUBJECT**

Don and Cindy Malin, (the “Applicants”) the current owners of the property commonly referred to as the ‘former Bank of America building’ at 35 West Main Street, request approval to renovate the existing bank building and establish a variety of approved uses on the property along with associated site improvements. The applicants request the approval of a Planned Unit Development (PUD), a Text Amendment and Special Use Permits to allow for the project.

The assemblage consists of 7 parcels addressed as 23 and 35 West Main Street owned by the Applicants, and 22 and 28 Park Avenue owned by the Village of Lake Zurich. The Village has agreed to convey the two parcels to the Applicant to increase the viability of the redevelopment of the property.

**GENERAL INFORMATION**

Requested Action: Special Use for a Planned Unit Development (PUD)  
Amendment to the Text of the B-2 Central Business District  
Special Use Permits for Various Requested Land Uses  
Site Plan Approval and Exterior Appearance Review

Current Zoning: B-2 Central Business District - 23 and 35 West Main Street  
R-5 Single-family Residential District - 22 and 28 Park Avenue  
DR Downtown Redevelopment Overlay District

Current Use: Vacant Bank Building and Vacant Residential Property

Property Location: 23 & 35 West Main Street and 22 and 28 Park Avenue

Applicants: Don and Cindy Malin

Owners: Vela Carina, LLC represented by Don and Cindy Malin  
Village of Lake Zurich

Staff Coordinator: Tim Verbeke, Planner

## **LIST OF EXHIBITS**

- A. Legal Description
- B. Public Hearing Sign
- C. Site Photos
- D. Aerial Map
- E. Zoning Map
- F. Parcel Map
- G. Development Application and Attachments
- H. Development Review Comments

## **BACKGROUND**

The property commonly referred to as the “former Bank of America Property,” is addressed as 23 and 35 West Main Street and is currently located in heart of the older part of the community close to the intersection of Main Street and Old Rand Road. The owner of the property is Vela Carina LLC, represented by Mr. Don and Ms. Cindy Malin. The properties at 22 and 28 Park Avenue are currently owned by the Village of Lake Zurich. The assemblage of these properties is the subject of this PUD.

The existing structure is a combination of connected building sections that are combined to provide approximately 9,200 square feet of built up floor area. The building is located at the northwest corner of West Main Street and Park Avenue with its front entrance facing West Main Street. The property is accompanied by a parking lot across Park Avenue that contains 36 parking spaces, including two accessible spaces.

Don and Cindy Malin have acquired the property and propose to upgrade the interior and exterior, and lease the spaces to tenants that would include uses such as a coffee shop, restaurant, community theater, wine and coffee bar, arts center, micro-brewery or tasting room, salon/spa, coding business, or dental/medical use. They have also identified the use of the two village-owned properties at 22 and 28 Park Avenue to make the redevelopment of the properties feasible.

The Applicants filed an application with the Village of Lake Zurich received on March 17, 2020 (the “Application”) seeking:

- Special Use Permit for a Planned Unit Development (PUD) for the redevelopment of seven parcels that comprise the assemblage of properties;
- Amend the Text of the B-2 Central Business District to allow the land uses “Theatrical Producers (except Motion Picture) SIC#792” and “Commercial Art and Graphic Design SIC #7336” as Special Uses
- Special Use Permits to establish various uses including but not limited to community theater, wine and coffee bar (drinking places 5813), arts center, micro-brewery (manufacture of beverages, 208) and/or tasting rooms, salon/spa (Physical Fitness Facilities 7991), drive-through facility, outdoor seating, live entertainment including outdoor entertainment such as outdoor lawn bowling, volleyball, bocce ball courts, shuffle board courts, and miniature golf, etc., and accessory to the restaurant (eating place) on the property;
- Site Plan Review and Exterior Appearance Review to approve the Applicant’s proposed design on the Subject Property.

#### *Existing Conditions*

The properties at 23 and 35 West Main Street are zoned within the B-2 Central Business District, while the properties at 22 and 28 Park Avenue are zoned within the R-5 Single-family Residential district.

The commercially zoned portion that contains the vacant building is located along Main Street, at the heart of the village. The building has been vacant for the past ten years. It comprises of an approximately 9,194 square-foot single-story bank building on a 22,244 square-foot (0.50-acre) property. This includes three adjoining parcels, two with the current bank building, and one with the adjacent parking lot. The parking lot is on a 15,904 square-foot (0.36-acre) parcel. The two residentially zoned vacant properties comprise an additional land area of approximately 8,712 square feet each for a total land area or approximately 17,424 square feet (0.4 acre).

#### *Public/Private Partnership*

In order to complete the project, the Applicants and the Village have entered into a Public/Private Partnership agreement (approved by the Village Board on January 20, 2020) since the village was able to identify options to employ its resources to further assist in this redevelopment project. The salient provisions of this partnership agreement are that relate to the current development proposal are:

1. The village-owned properties at 22 and 28 Park Avenue (immediately behind and abutting 35 West Main Street) will be conveyed at no cost to the developer to be used for the construction of a parking lot and drive-through facility.
2. The Village will complete certain public infrastructure improvements in conjunction with the redevelopment of the site including water, sewer, sidewalk, and electrical improvements within the right-of-way.

3. The Village will grant certain financial incentives through TIF funds, proceeds from the sale of nearby village-owned property and the reduction or waiving of certain permit and impact fees.

*Proposal*

The currently vacant building operated as a Bank of America Financial Institution between 1985 and 2010. The Applicants have acquired the building and are now proposing to demolish the interior and reconfigure it as a multi-tenant commercial building.

The primary changes from the existing configuration include:

- Reconfiguring and upgrading the exterior elevations of the building and interiors in keeping with modern design and building standards.
- Constructing an outdoor entertainment area on the southeast portion of the property between the building and the parking lot and an outdoor seating area at the northwest corner;
- Constructing a drive-through window and lane along the northeast side of the property.

The applicants are proposing a drive-through window on the northeast side of the renovated building. They hope to provide a space with a drive-through window that will attract occupants such as a coffee shop or small cafe.

The proposed configuration of parking and circulation is designed to benefit the subject development with parking, a drive-through and a shared parking arrangement with the adjacent property owner to the northeast (Offbeat Music). The circulation is designed to allow for access to the drive-through lane along the northeast side of the building and conveniently allow vehicles to exist the property with a right hand turn to travel east-bound on West Main Street. The right-hand exit out of the drive-through lane will reduce the impact on traffic along Main Street. Due to the unusual circulation pattern that is being proposed, the village has recommended and the Applicants have agreed to install proper and adequate signage at the various vehicular entry and exit locations to properly guide traffic and minimize conflict. A portion of the driveway encroaches onto the adjacent property and will be acknowledged through a cross-access easement agreement between property owners. A small exterior patio enclosed by a 36" open metal fence is proposed alongside the drive-through lane.

The applicants propose to develop the exterior of the building and advertise the possibility of three "vanilla box" units with the ability to be customized until interested businesses have committed to leasing the spaces. The building will allow for approximately 9,257 leasable square feet. Each space can be designed to accommodate numerous configurations with individual units occupying as little as 2,000 square feet.

Drive-through facilities, live entertainment and outdoor entertainment activity accessory to permitted eating place (5812) are allowed as special uses within the B-2 Central Business District, and will be granted under the authority of the PUD ordinance being considered.

*Parking provisions.*

In keeping with the prospect of attracting new occupants, the development proposes to use the village-owned vacant lots to the southeast, which are currently zoned within the R-5 District single-family residential district, to add additional parking for the building. Along the far southerly end of the parking lot the Applicants are proposing to construct a 6-foot tall solid vinyl fence to screen vehicle head lights and to provide a proper separation of the parking lot from the residential neighbor to the south. The proposal also outlines newly planted landscape areas along the south end and within parking lot islands.

The Applicants are proposing to repave and restripe the existing parking lot across Park Avenue in conjunction with rest of the paving work. The Applicants have also worked with the neighboring property owner at 15 West Main Street, Offbeat Music Store, to pave and restripe their lot in conjunction with the rest of the paving work.

Pursuant to public notice published on May 4, 2020, in the Daily Herald, a public hearing has been scheduled with the Lake Zurich Planning & Zoning Commission for May 20, 2020, to consider the Application. On May 5, 2020, the Village posted a public hearing sign on the Subject Property (Exhibit B).

Staff offers the following additional information:

**Courtesy Review.** The project to redevelop the property at 35 W Main Street was presented to the Village Board for Courtesy review on January 6, 2020. Following discussion, the Village Board suggested that if the developer and owners were inclined to move forward, they would need to submit their proposal to the Planning and Zoning Commission for consideration. The courtesy review can be viewed at the following link: <https://view.earthchannel.com/PlayerController.aspx?&PGD=lakezurichil&eID=439>

- A. Zoning History.** The existing former Bank of America building was constructed in 1985, consistent with the neighboring development on Main Street. The property is located at 35 W Main St, and 23 W Main St is zoned within the B-2 Central Business District and also subject to the DR Downtown Redevelopment Overlay District. The property has always been zoned within a business district classification since its early incorporation into the Village as vacant land.

The two village-owned parcels to the rear of the bank property are zoned within the R-5 Single-family Residential District. Both properties were previously improved with single-family homes constructed between 1947 and 1955. Since their acquisition, the homes on the properties have been demolished by the village to make way for new development.

- B. Surrounding Land Use and Zoning.** The property is located along Main Street in the heart of Main Street Area of Lake Zurich. The entirety of the property is located within the DR Downtown Redevelopment Overlay District. To the southeast, the area is zoned R-5 Single Family Residential and improved with single family residential homes. The properties to the northwest and northeast are zoned within the B-2 Central Business District and improved with a multifamily townhouses and apartments, and a retail music business

respectively. To the west of the parking lot across Park Avenue, the property is zoned IB Institutional Building and is currently vacant.

- C. **Trend of Development.** The building at 35 W Main Street was one of the last remaining commercial buildings on this section of Main Street. Presently, the property is located in in the Main Street Area of Lake Zurich that is developed with a mix of mature commercial, residential and some institutional uses.
- D. **Zoning District.** The zoning code provides for three (3) zoning districts for business and commercial uses. When taken together, these districts are intended to permit development of property for the full range of business and commercial uses needed to serve the citizens of Lake Zurich and the surrounding suburban area. The B-2 Central Business District is located in the center of the Village. It is intended to serve the entire Lake Zurich suburban community with a wide variety of retail and service uses. The bulk standards in this district are intended to reflect the generally more intense development of property existing in this area.

The R-5 Single-family Residential District allows for a somewhat higher density residential use and smaller lot sizes.

Note: the PUD is intended to extend over all parcels related to this development despite their dissimilar zoning classification, and will contain all of the provisions for the location, design and operation of the proposed commercial development.

## GENERAL FINDINGS

Staff of the Village's Development Review Team (DRT) has evaluated the development against the various standards and provisions of the Lake Zurich Municipal Code and offers findings on specific sections of the Code.

### 9-22-5: STANDARDS FOR PLANNED UNIT DEVELOPMENTS.

Planned unit developments are included in the zoning code as a distinct category of special use. As such, they are authorized for the same general purposes as all other special uses and in recognition of the fact that traditional bulk, space, and yard regulations that may be useful in protecting the character of substantially developed and stable areas may impose rigidities on the development or redevelopment of parcels or areas that lend themselves to an individual, planned approach.

- A. Special Use Permit Standards: No special use permit for a planned unit development shall be recommended or granted pursuant to this chapter unless the applicant shall establish that the proposed development will meet each of the standards made applicable to special use permits pursuant to chapter 19 of this title.

**Staff Response: Standard met. Please refer to the "Standards for Special Use Permits" contained within this report.**



B. Additional Standards for All Planned Unit Developments: No special use permit for a planned unit development shall be recommended or granted unless the applicant shall establish that the proposed development will meet each of the following additional standards:

1. Unified Ownership Required: The entire property proposed for planned unit development treatment shall be in single ownership or under such unified control as to ensure that the entire property will be developed as a unified whole. All owners of the property shall be included as joint applicants on all applications and all approvals shall bind all owners. The violation of any owner as to any tract shall be deemed a violation as to all owners and all tracts.

**Staff Response: Standard met. The entirety of the PUD will be under common ownership of Vela Carina LLC.**

2. Minimum Area: The applicant shall have the burden of establishing that the subject property is of sufficient size and shape to be planned and developed as a unified whole capable of meeting the objectives for which planned unit developments may be established pursuant to this section.

**Staff Response: Standard met. The property is of a sufficient size to accommodate the proposed development. The 0.92-acre property comprising of seven parcels of land will accommodate the existing 1-story approximately 9,200 square foot building. The building will be accompanied by a 23-space vehicular parking area immediately adjacent to the building and a 36-space vehicular parking area that currently serves the building.**

3. Covenants and Restrictions to Be Enforceable by Village: All covenants, deed restrictions, easements, and similar restrictions to be recorded in connection with the planned unit development shall provide that they may not be modified, removed, or released without the express consent of the board of trustees and that they may be enforced by the village as well as by future landowners within the proposed development.

**Staff Response: Standard met. The Village will ensure that any and all easements are properly recorded and will be enforced by the Village. Additionally, the terms and conditions of the development are contained within the Redevelopment Agreement that was approved by the Village in January of this year.**

4. Public Open Space and Contributions: Whenever the official comprehensive plan, zoning map, or official map indicates that development of a planned unit development will create a need for land for public purposes of the village within the proposed planned unit development, the board of trustees may require that such area be designated and to the extent such need is specifically and uniquely attributable to the proposed development, dedicated to the village for such use. In addition, the board of trustees may require evidence that all requirements of village

ordinances pertaining to the dedication of land or the contribution of cash in connection with subdivisions or developments of land have been met as respects the proposed planned unit development.

**Staff Response: Not Applicable. The nature and scope of the development – namely a multi-tenant commercial building – does not create a need for land for public purposes of the village within the proposed planned unit development. The purpose and intent of such contributions are provided primarily for larger residential developments consisting of multiple properties with common areas to provide for or compensate for public amenities for the benefit of new residents that will move into the community to occupy such developments.**

**The village has therefore determined that the development is not required to provide any public open space or compensate for such at this time.**

5. Common Open Space:

- a. Amount, Location, And Use: The failure of a planned unit development to provide common open space shall be considered to be an indication that it has not satisfied the objectives for which such developments may be approved pursuant to this zoning code. When common open space is provided in a planned unit development, the amount and location of such open space shall be consistent with its intended function as set forth in the application and planned unit development plans. No such open space shall be used for the construction of any structure or improvement except such structures and improvements as may be approved in the final plan as appropriate to the intended leisure and recreational uses for which such open space is intended.
- b. Preservation: Adequate safeguards, including recorded covenants or dedication of development rights, shall be provided to prevent the subsequent use of common open space for any use, structure, improvement, or development other than that shown on the approved final plan. The restrictions must be permanent and not for a given period of years and must run with the land. Such covenants and dedications may provide that they may be released, but only with the express written consent of the board of trustees.
- c. Ownership And Maintenance: The final plan shall include such provisions for the ownership and maintenance of such open space and improvements as are reasonably necessary to ensure their continuity, care, conservation, maintenance, and operation in accordance with predetermined standards and to ensure that remedial measures will be available to the village if such open space or improvements are permitted to deteriorate or are not maintained in a condition consistent with the best interests of the planned unit development or the village.

- d. Property Owners' Association: When the requirements of subsection B5c of this section are to be satisfied by the ownership or maintenance of such open space or improvements by a property owners' association, such association shall meet each of the following standards:
- i. The bylaws and rules of the association and all declarations, covenants, and restrictions to be recorded must be approved as part of the final plan prior to becoming effective. Each such document shall provide that it shall not be amended in any manner that would result in it being in violation of the requirements of this subsection B5d(1); and
  - ii. The association must be established and all covenants and restrictions must be recorded prior to the sale of any property within the area of the planned unit development designated to have the exclusive use of the proposed open space or improvements; and
  - iii. The association must be responsible for casualty and liability insurance, taxes, and the maintenance of the open space and improvements to be deeded to it; and
  - iv. Membership in the association must be mandatory for each property owner and any successive owner having a right to the use or enjoyment of such open space or improvements; and
  - v. Every property owner having a right to the use or enjoyment of such open space or improvements must pay its pro rata share of the cost of the association by means of an assessment to be levied by the association that meets the requirements for becoming a lien on the property in accordance with state statutes; and
  - vi. The association must have the right to adjust the assessment to meet changed needs. The membership vote required to authorize such adjustment shall not be fixed at more than two-thirds (2/3) of the members voting on the issue; and
  - vii. The village must be given the right to enforce the covenants; and
  - viii. The village must be given the right, after ten (10) days' written notice to the association, to perform any maintenance or repair work that the association has neglected to perform, to assess the membership for such work and to have a lien against the property of any member failing to pay such assessment. For this purpose alone, the village shall have all the rights and powers of the association and its governing body under the agreements and declarations creating the association.

**Staff Response: Not Applicable. Based on the nature and scope of the development, and size of the subject property, the village has determined that the development is not required to provide any public open space or compensate for such at this time.**

6. Landscaping and Perimeter Treatment: Any area of a planned unit development not used for structures or circulation elements shall be landscaped or otherwise improved. The perimeter of the planned unit development shall be treated so as to ensure compatibility with surrounding uses by means such as provision of compatible uses and structures, setbacks, screening, or natural or manmade buffers.

**Staff Response: Standard Met. All portions of the development are proposed to be either improved with paved areas or landscaped.**

**The development will be provided by landscape buffers along the interior lot line – southeast lot line – to mitigate the impact of the development. The buffer comprises of a 131-foot landscaped area consisting of a mix of 3-inch caliper trees and 3-foot shrubs to screen the development from adjacent properties.**

**To the greatest extent possible, the development will incorporate existing trees of significance into the landscape buffer areas and within parking islands.**

7. Private Streets: Private streets are prohibited unless expressly approved by the board of trustees. If so approved, they shall meet all construction standards applicable to public streets. No such streets shall be approved except upon the condition that they shall be owned and maintained by a property owners' association meeting the requirements set forth in subsection B5d of this section.

**Staff Response: Not Applicable. The development is being proposed on a single site and therefore no internal streets are proposed.**

8. Sidewalks: A sidewalk meeting the standards of the Lake Zurich subdivision ordinance shall be provided along at least one side of every street in or abutting a planned unit development; provided, however, that such sidewalk may be constructed in a street right of way or as a specific element of the design of the planned unit development.

**Staff Response: Standard met. A sidewalk exists along the Main Street frontage and the Park Avenue Frontage of the Subject Property. Along with sidewalk improvements, the Applicants have proposed pedestrian crossing improvements which will greatly increase pedestrian safety.**

9. Utilities: All utility lines shall be installed underground.

**Staff Response: Standard Met. The development is proposed with all onsite utilities buried. The Applicant is additionally working with the regional and local utility companies to determine the viability of burying the utilities along the periphery of the development particularly at the eastern side of the property. The Village is providing the new water and sewer service lines for the project per the terms and conditions of an approved Redevelopment Agreement.**

- C. Additional Standards for Specific Planned Unit Developments: When the district regulations authorizing any planned unit development use in a particular district impose standards to be met by such planned unit development in such district, a special use permit for such development shall not be recommended or granted unless the applicant shall establish compliance with such standards. (Ord., 10-2004)

**Staff Response: Standard Met. There are no additional standards imposed through the establishment of multi-tenant commercial building that are proposed within such district.**

### **9-19-3: STANDARDS FOR SPECIAL USE PERMITS.**

Staff has reviewed the plan and found that the amendment will continue to remain in substantial conformance with the standards for Special Use Permits as outlined below.

- A. General Standards: No special use permit for a planned unit development shall be recommended or granted unless the applicant shall establish substantial conformance with the following:
1. Zoning Code and Plan Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this zoning code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the official comprehensive plan.

**Staff Response: Standard met. The development will continue to remain in substantial conformance with the purpose and intent of the B-2 Central Business District and the land use designation of the adopted Comprehensive Plan, which designates the entire assemblage of parcels as “Commercial” property due to the Downtown Redevelopment Overlay District.**

2. No Undue Adverse Impact. The proposed use and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area, or the public health, safety, and general welfare.

**Staff Response: Standard met. The proposed multi-tenant commercial building will be re-constructed in a manner so as to minimize any undue adverse effect upon itself or any adjacent properties. These measures include:**

- **Landscape buffers along the eastern perimeter lot lines to screen the development from adjacent residential development**
- **Site lighting both on the building and within the parking lot to ensure that the illumination is within the parameters and standards of the site lighting code**

- **Traffic control measures on the property direct traffic in a one-way Northeast-bound direction onto Main Street to reduce traffic conflicts. The primary traffic entrance to the property will be on Park Avenue. Traffic entering Off-Beat Music or the parking lot at the rear of the building may enter from Main Street.**

**As it relates to use and design, the proposed development is consistent with the trend of development along the Main Street Area. The proposal will enhance the character of the corridor by redeveloping and beautifying a vacant and prominent corner.**

3. No Interference with Surrounding Development. The proposed use and development will be constructed, arranged, and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.

**Staff Response: Standard met. The location and operation of the proposed development is not intended to interfere with the surrounding development. The pedestrian paths and vehicular drives are proposed to connect directly to adjacent properties. This will allow for the drive-thru and Main Street entrance to both achieve the appropriate lane width.**

**In the area where the proposed driveway encroaches onto adjacent vacant village-owned property, such encroachment will be acknowledged by means of a cross-access and encroachment agreement.**

4. Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.

**Staff Response: Standard met. The site is currently served with utilities that were meant to serve the bank but which is no longer in use. The developer has proposed to replace the existing utilities on the entire property with new utilities that are designed in locations and with capacity to serve the new multi-tenant commercial building. The Village is providing the new water and sewer service lines for the project.**

5. No Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through the surrounding streets.

**Staff Response: Standard met. The former Bank of America building and proposed multi-tenant commercial building will have traffic normally associated with commercial development. The configuration of the parking lots, entrance and egress locations, internal driveways and traffic signage is proposed to minimize any traffic congestion or conflicts.**

6. No Destruction of Significant Features. The proposed use and development will not result in the destruction, loss, or damage of any natural, scenic, or historic feature of significant importance.

**Staff Response: Standard met. The proposed development will not result in the destruction, loss, or damage of any natural or historic features as the development is reusing an existing building and improving property that was previously developed but currently vacant.**

**The development proposes to preserve some of the existing trees within the peripheral buffers and within parking lot islands to the greatest extent possible.**

7. Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

**Staff Response: Standard met. The proposed development will comply with all other additional standards imposed through the building codes for a multi-tenant commercial building and its accessory uses.**

8. Positive Effect. The proposed special use creating a positive effect for the zoning district, its purpose, and adjacent properties shall be placed before the benefits of the petitioner.

**Staff Response: Standard met. The proposed development will assist in redeveloping and revitalizing a property that has been vacant for ten years on Lake Zurich's Main Street corridor.**

- B. Special Standards for Specified Special Uses. When the district regulations authorizing any special use in a particular district impose special standards to be met by such use in such district, a permit for such use in such district shall not be recommended or granted unless the applicant shall establish compliance with such special standards.

**Staff Response: Standard met. There are no special standards for any special uses being requested. Staff will ensure that compliance is established before any additional permits are issued.**

- C. Considerations. In determining whether the applicant's evidence establishes that the foregoing standards have been met, the Plan Commission and the Board of Trustees shall consider:

1. Benefit. Whether and to what extent the proposed use and development at the particular location requested is necessary or desirable to provide a service or a

facility that is in the interest of the public convenience or that will contribute to the general welfare of the neighborhood or community.

**Staff Response: Standard met. The proposed development will bring a new and comprehensive lifestyle option to the Village. Residents of the village and surrounding municipalities will be provided with a convenient space for dining, recreation, and personal services.**

2. Alternative Locations. Whether the purposes of the zoning code can be met by the location of the proposed use and development in some other area or zoning district that may be more appropriate than the proposed site.

**Staff Response: Standard met. The proposed location is suitable for a multi-tenant commercial building, and is based on its consistency with the land uses, architecture, and design immediately surrounding the proposed development along Main Street.**

3. Mitigation of Adverse Impacts. Whether all steps possible have been taken to minimize any substantial or undue adverse effects of the proposed use and development on the immediate vicinity through building design, site design, landscaping, and screening.

**Staff Response: Standard met. The applicant has taken a number of steps to minimize the impact of the development on surrounding property. These include:**

- **Reconstructing the building and not expanding the footprint;**
- **Landscape buffering;**
- **Traffic control signage on the property; and**
- **Site lighting that meets the requirements of the zoning code.**

**These necessary steps have been taken to minimize any substantial adverse effects of the proposed development both on itself and on surrounding property.**

### **Standards for Amendments to the Text of the Zoning Code:**

The amendment process established by the Chapter 18 of the Lake Zurich Zoning Code entitled “Amendments” is intended to provide a means for making changes in the text of this zoning code and in the zoning map that have more or less general significance or application. It is not intended to relieve particular hardships nor to confer special privileges or rights. Rather, it is intended as a tool to adjust the provisions of this zoning code and the zoning map in light of changing or newly discovered conditions, situations, or knowledge, or conditions, situations or knowledge with heightened significance or elevated relevance.



Staff finds that the land uses for “Theatrical Producers (except Motion Picture) SIC#792” and “Commercial Art and Graphic Design SIC #7336” as proposed to be allowed within the B-2 central business district will continue to comply with the standards provided in the code.

- A. The consistency of the proposed amendment with the purposes of this zoning code.

**Staff Response: Standard met. Staff has found that the proposed text amendment is consistent with the theme and general principles of the zoning code and the current aspirations of the subject property owner and surrounding community.**

- B. The community need for the proposed amendment and for the uses and development it would allow.

**Staff Response: Standard met. The lack of such uses within the Main Street Area along with the temporary use of buildings to allow for such uses to operate has demonstrated a need for such uses in the community.**

- C. If a specific parcel of property is the subject of the proposed amendment, then the following factors:

**Staff Response: Not Applicable. The amendment being requested is to the text of the zoning code to allow for the provision of “Theatrical Producers (except Motion Picture) SIC#792” and “Commercial Art and Graphic Design SIC #7336” to be established within the B-2 central business district.**

**No Amendment to the underlying zoning of the subject property is being requested at this time.**

## **IDENTIFICATION AND ANALYSIS OF ZONING RELIEF FOR THE PLANNED UNIT DEVELOPMENT (PUD)**

On analysis of the proposed development against the various standards contained within the municipal code, staff has identified the following areas that will require zoning relief.

1. **Section 8-11-1.F.2 Maximum Fence Height; Interior Side and Rear Yards.** The Building regulations require that fences in Interior Side and Rear Yards not exceed a maximum height of 5 feet. The Applicants are requiring a 6-foot high fence in the side yard adjoining the adjacent residential district properties to separate the proposed parking lot from the residences.

## RECOMMENDATION

The recommendation of the Planning and Zoning Commission should be based on the standards included in the following Sections of the Lake Zurich Municipal Code:

- Section 9-22-5: Standards for Planned Unit Developments
- Section 9-18-3: Standards for Amendments
- Section 9-19-3: Standards for Special Use Permits

Staff has determined that all standards for approval have been met and recommends that the Planning and Zoning Commission make these standards a part of the official record of the Application.

Staff of the Community Development Department therefore recommends the approval of Application PZC 2020-02, subject to the following conditions:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
  - a. Zoning Application and Cover Letter dated March 17, 2020, and prepared by Don and Cindy Malin.
  - b. Exhibit A: Legal Description of the Subject Property
  - c. Geometric Site Plans, dated March 17, 2020, and prepared by Don and Cindy Malin.
  - d. Landscape Plan, dated March 17, 2020, and prepared by Don and Cindy Malin.
  - e. Front and Side Elevations, dated March 17, 2020, and prepared by Don and Cindy Malin.
  - f. Proposed Floor Plan, dated March 17, 2020, and prepared by Don and Cindy Malin.
  - g. Front and Side Color Elevations, dated March 17, 2020, and prepared by Don and Cindy Malin.
2. The new parking lot shall be properly screened with the required amount of landscaping and buffering plant material as required by the village code. Additionally, foundation landscape material shall also be added along the southeasterly portion of the building. The design and materials may take the form of shrubs, ornamental trees, shade trees or evergreens. The final landscape plan shall be approved by village staff prior to approval of the project by the Village Board.
3. An encroachment agreement exhibit shall be prepared to acknowledge the encroachment of the driveway on the property to the northeast of the subject property.
4. A cross-access agreement between the Applicant and the adjacent property owner (Offbeat Music) shall be undertaken to allow for the reconstruction and paving of the parking lot on that property, and provide for the construction of the shared driveway across both properties.

5. All graphics and signage shall be designed and constructed on compliance with the requirements of the Sign Code (Title 12).
6. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

Respectfully Submitted,

Tim Verbeke, Planner

**LAKE ZURICH PLANNING & ZONING COMMISSION  
FINAL FINDINGS & RECOMMENDATIONS**

**23 and 35 West Main Street; 22 and 28 Park Avenue  
Former Bank of America Building  
May 20, 2020**

The Planning & Zoning Commission recommends approval of Application [PZC 2020-02](#), and the Planning & Zoning Commission adopts the findings as contained within the Staff Report dated [May 20, 2020](#) for this Application and subject to any changes or approval conditions as listed below:

1. Substantial conformance with the following documentation submitted as part of the application subject to revisions required by Village Staff and applicable governmental agencies:
  - a. Zoning Application and Cover Letter dated March 17, 2020, and prepared by Don and Cindy Malin.
  - b. Exhibit A: Legal Description of the Subject Property
  - c. Geometric Site Plans, dated March 17, 2020, and prepared by Don and Cindy Malin.
  - d. Landscape Plan, dated March 17, 2020, and prepared by Don and Cindy Malin.
  - e. Front and Side Elevations, dated March 17, 2020, and prepared by Don and Cindy Malin.
  - f. Proposed Floor Plan, dated March 17, 2020, and prepared by Don and Cindy Malin.
  - g. Front and Side Color Elevations, dated March 17, 2020, and prepared by Don and Cindy Malin.
2. The new parking lot shall be properly screened with the required amount of landscaping and buffering plant material as required by the village code. Additionally, foundation landscape material shall also be added along the southeasterly portion of the building. The design and materials may take the form of shrubs, ornamental trees, shade trees or evergreens. The final landscape plan shall be approved by village staff prior to approval of the project by the Village Board.
3. An encroachment agreement exhibit shall be prepared to acknowledge the encroachment of the driveway on the property to the northeast of the subject property.
4. A cross-access agreement between the Applicant and the adjacent property owner (Offbeat Music) shall be undertaken to allow for the reconstruction and paving of the parking lot on that property, and provide for the construction of the shared driveway across both properties.
5. All graphics and signage shall be designed and constructed on compliance with the requirements of the Sign Code (Title 12).
6. The development shall be in compliance with all other applicable codes and ordinances of the Village of Lake Zurich.

- Without any further additions, changes, modifications and/or approval conditions.
- With the following additions, changes, modifications and/or approval conditions:

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Planning & Zoning Commission Chairman

**EXHIBIT A**  
LEGAL DESCRIPTION OF SUBJECT PROPERTY

PARCEL 1: THAT PART OF LOTS 1 & 2 DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING AT A POINT ON THE NORTHWESTERLY LINE OF SAID LOT 1, WHICH IS 38 FEET NORTHEASTERLY OF THE MOST WESTERLY CORNER OF SAID LOT 1; THENCE SOUTHWESTERLY PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT 1, 110.05 FEET; THENCE NORTHEASTERLY TO A POINT ON THE NORTHEASTERLY LINE OF SAID LOT 2, WHICH IS 133.85 FEET NORTHWESTERLY OF THE MOST EASTERLY CORNER OF LOT 3; THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT 2, TO THE MOST NORTHERLY CORNER THEREOF; AND THENCE SOUTHWESTERLY ALONG THE NORTHWESTERLY LINE OF SAID LOTS 1 AND 2 TO THE PLACE OF BEGINNING, IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS.

PARCEL 2: A PART OF LOT 1 IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS, TO WIT: BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF SAID LOT 1, 35 FEET NORTHEASTERLY OF THE MOST WESTERLY CORNER OF SAID LOT 1; THENCE SOUTHEASTERLY PARALLEL TO THE SOUTHWESTERLY LINE OF SAID LOT 1, 115 FEET; THENCE NORTHEASTERLY, PARALLEL TO THE NORTHWESTERLY LINE OF SAID LOT 1, 3 FEET; THENCE NORTHWESTERLY PARALLEL TO THE SOUTHWESTERLY LINE OF SAID LOT 1, 115 FEET TO THE NORTHWESTERLY LINE OF SAID LOT 1; THENCE SOUTHWESTERLY ALONG THE NORTHWESTERLY LINE OF SAID LOT 1, 3 FEET TO THE POINT OF BEGINNING, IN LAKE COUNTY ILLINOIS.

PARCEL 3: THAT PART IN PARK AVENUE IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE SOUTHEASTERLY LINE OF MAIN STREET (FORMERLY ROBERTSON AVENUE) EXTENDED STRAIGHT SOUTHWESTERLY, 0.28 FEET FROM THE POINT OF INTERSECTION OF SAID SOUTHEASTERLY LINE OF MAIN STREET AND THE

NORTHEASTERLY LINE OF SAID PARK AVENUE (SAID POINT OF INTERSECTION BEING THE MOST WESTERLY CORNER OF LOT 1 IN AFOREMENTIONED F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK: THENCE NORTHEASTERLY ALONG THE AFORESAID EXTENDED SOUTHEASTERLY LINE OF MAIN STREET, 0.28 FEET TO SAID POINT OF INTERSECTION; THENCE SOUTHEASTERLY ALONG SAID NORTHEASTERLY LINE OF PARK AVENUE (BEING ALSO THE SOUTHWESTERLY LINE OF SAID LOT 1 ONE IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK), 117.00 FEET; THENCE SOUTHWESTERLY ALONG A LINE PERPENDICULAR TO SAID NORTHEASTERLY LINE OF PARK AVENUE, 0.28 FEET; THENCE NORTHWESTERLY ALONG A STRAIGHT LINE, 117.00 FEET, MORE OR LESS, TO THE POINT OF BEGINNING IN LAKE COUNTY, ILLINOIS.

PARCEL 4: LOT 16, (EXCEPT THAT PART THEREOF, DESCRIBED AS FOLLOWS: COMMENCING AT THE MOST EASTERLY CORNER OF SAID LOT; THENCE NORTHWESTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT, 66 FEET; THENCE SOUTHWESTERLY TO THE MOST WESTERLY CORNER OF SAID LOT; THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT TO THE MOST SOUTHERLY CORNER THEREOF; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LINE OF SAID LOT TO THE PLACE OF BEGINNING), AND ALL OF LOTS 17, 18 AND 19 IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS.

PARCEL 5: THAT PART IN PARK AVENUE IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERLY CORNER OF SAID LOT 1 (SAID CORNER BEING ON THE SOUTHEASTERLY LINE OF ROBERTSON AVENUE); THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 1, 125 FEET; THENCE NORTHEASTERLY ON A LINE PARALLEL WITH SAID SOUTHEASTERLY LINE OF ROBERTSON AVENUE, 35 FEET; THENCE NORTHWESTERLY ON A LINE PARALLEL WITH THE NORTHEASTERLY LINE OF PARK AVENUE, 125 FEET TO SAID SOUTHEASTERLY LINE OF ROBERTSON AVENUE, THENCE SOUTHWESTERLY ALONG SAID SOUTHEASTERLY LINE OF ROBERTSON AVENUE, 35 FEET TO THE POINT OF BEGINNING, (EXCEPTING THERE FROM THAT PART OF LOT 1, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON SAID SOUTHWESTERLY LINE OF LOT 1, THAT IS 117 FEET SOUTHEASTERLY OF SAID MOST WESTERLY CORNER OF LOT 1; THENCE CONTINUING SOUTHEASTERLY ALONG SAID SOUTHWESTERLY LINE OF

LOT 1, 8 FEET TO A POINT THAT IS 125 FEET SOUTHEASTERLY OF SAID MOST WESTERLY CORNER OF LOT 1; THENCE NORTHEASTERLY ALONG A LINE PARALLEL WITH THE NORTHWESTERLY LINE OF SAID LOT 1, 35 FEET; THENCE NORTHWESTERLY ALONG A LINE PARALLEL WITH SAID SOUTHWESTERLY LINE OF LOT 1, 10 FEET; THENCE SOUTHWESTERLY IN A STRAIGHT LINE TO THE POINT OF BEGINNING), IN LAKE COUNTY, ILLINOIS.

PARCEL 1: LOT 3 (EXCEPT THE SOUTHEASTERLY 66 FEET THEREOF) AND THAT PART OF LOTS 1 AND 2 LYING SOUTHEASTERLY OF A LINE DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHWESTERLY LINE OF SAID LOT 2 WHICH IS 133.85 FEET NORTHWESTERLY OF THE MOST EASTERLY CORNER OF SAID LOT 3; THENCE SOUTHWESTERLY 89.13 FEET TO A POINT WHICH IS 110.5 FEET SOUTHEASTERLY OF THE NORTHEASTERLY LINE OF SAID LOT 1, AS MEASURED PARALLEL TO THE SOUTHWESTERLY LINE OF SAID LOT 1, 4.5 FEET; THENCE SOUTHWESTERLY PARALLEL TO THE NORTHWESTERLY LINE OF SAID LOT 1, 3 FEET; THENCE SOUTHWESTERLY 35.05 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID LOT 1, 117 FEET SOUTHWESTERLY OF THE MOST WESTERLY CORNER OF SAID LOT 1 IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERLY CORNER OF SAID PARCEL 2: THE SOUTHEASTERLY 66.00 FEET OF LOT 3 IN F.H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPLE MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 19, 1907 AS DOCUMENT NUMBER 114276 IN BOOK "G" OF PLATS, PAGE 89 IN LAKE COUNTY, ILLINOIS.



**EXHIBIT B**

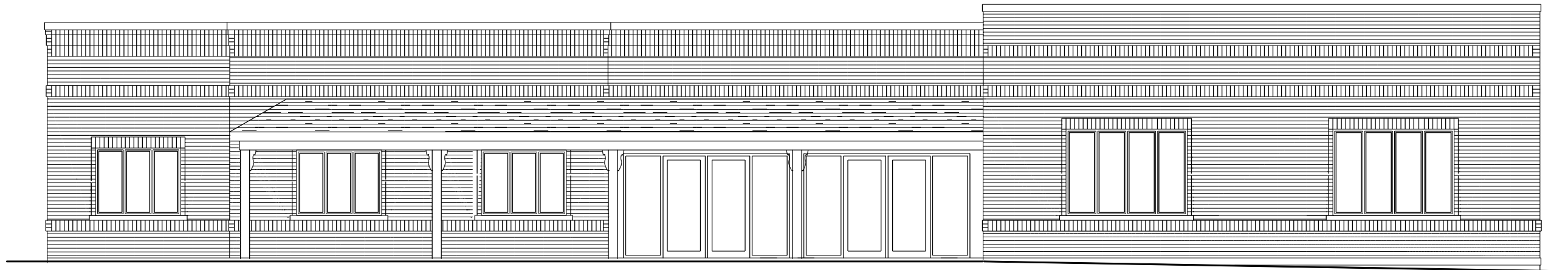
**PUBLIC HEARING SIGN PRESENT AT THE SUBJECT PROPERTY**



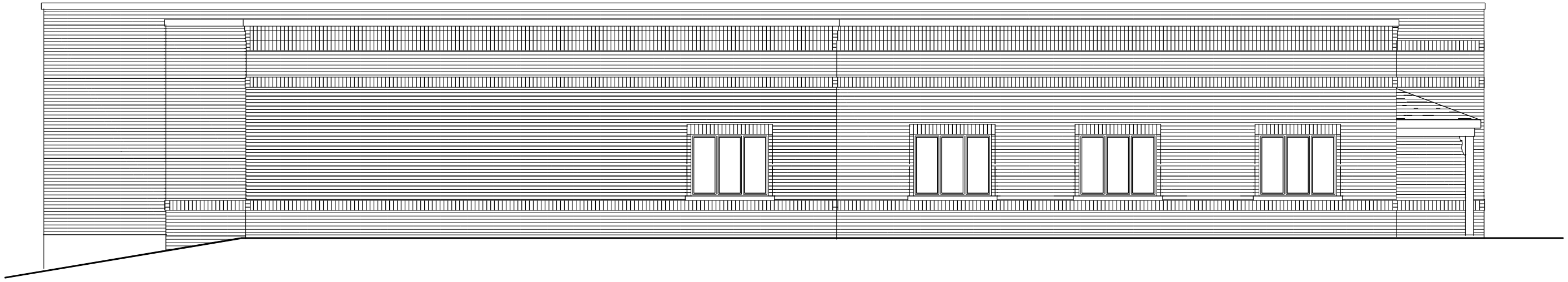


35 WEST MAIN STREET  
LAKE ZURICH, IL

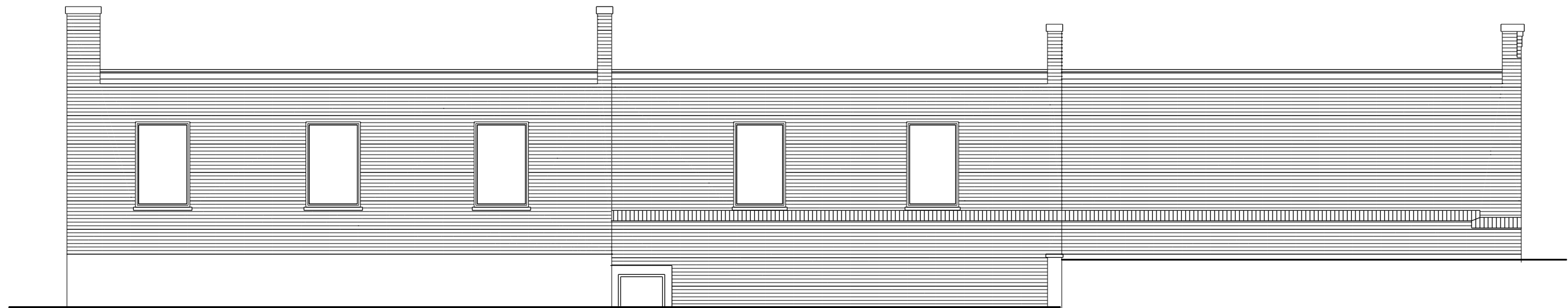
**GR** GINO ROMOZZI - ARCHITECT  
135 PARK AVE. BARRINGTON, IL SUITE # 200B  
847-707-2453-ROMOZZI@GMAIL.COM



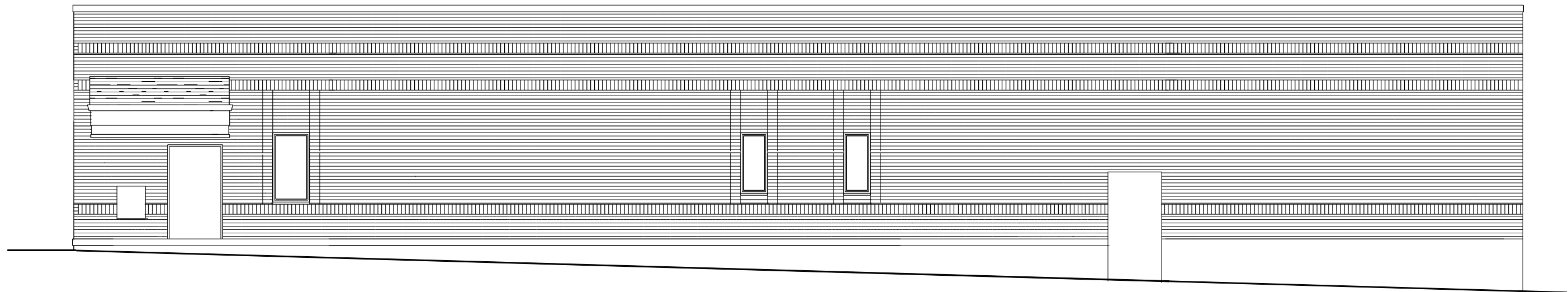
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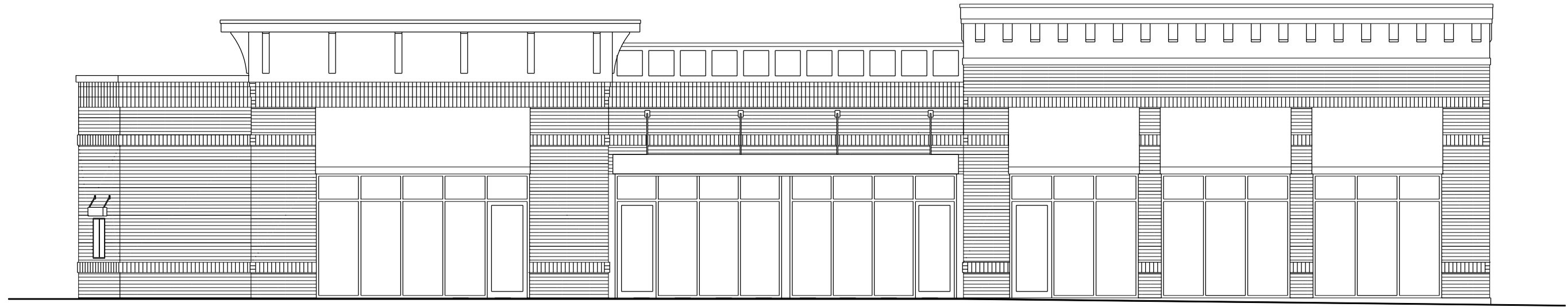
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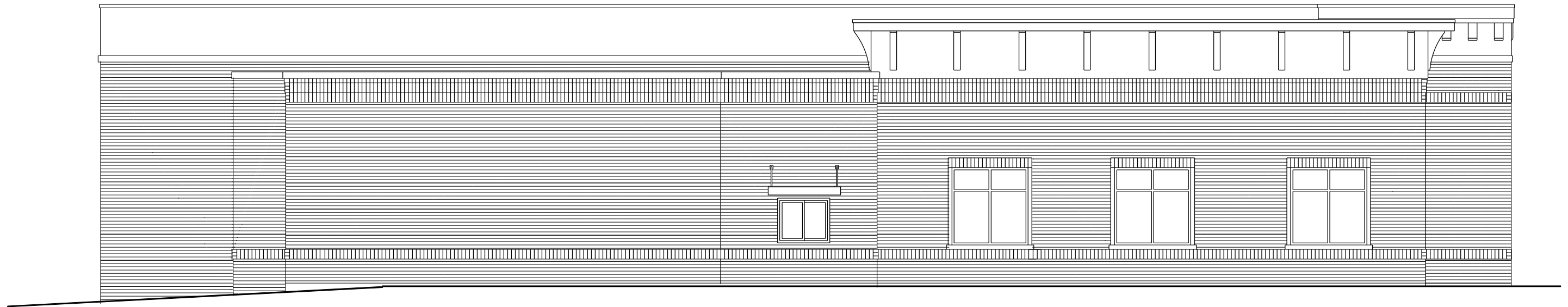
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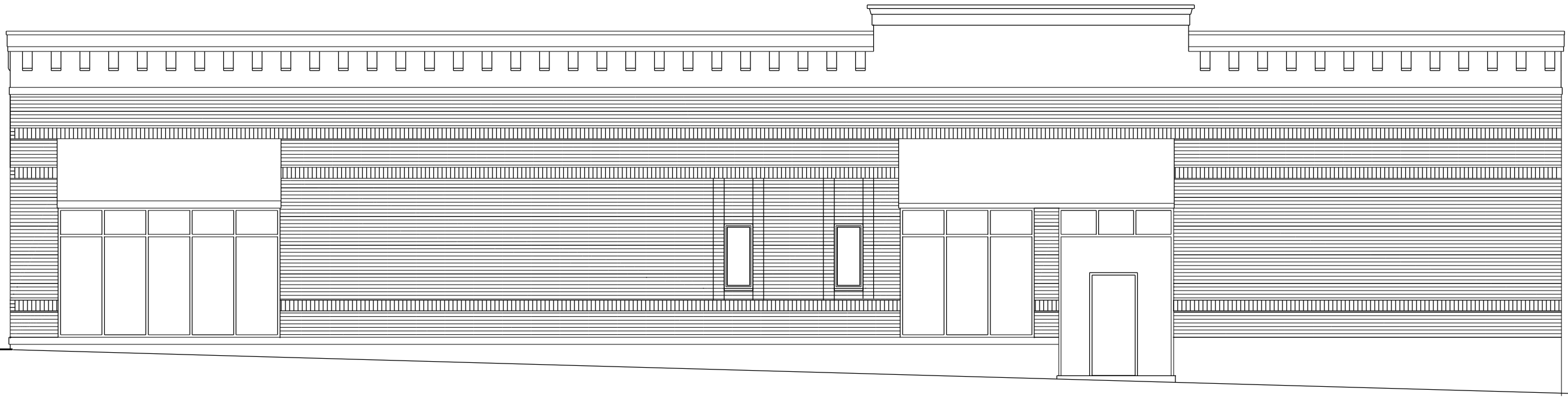
EXISTING WEST ELEVATION



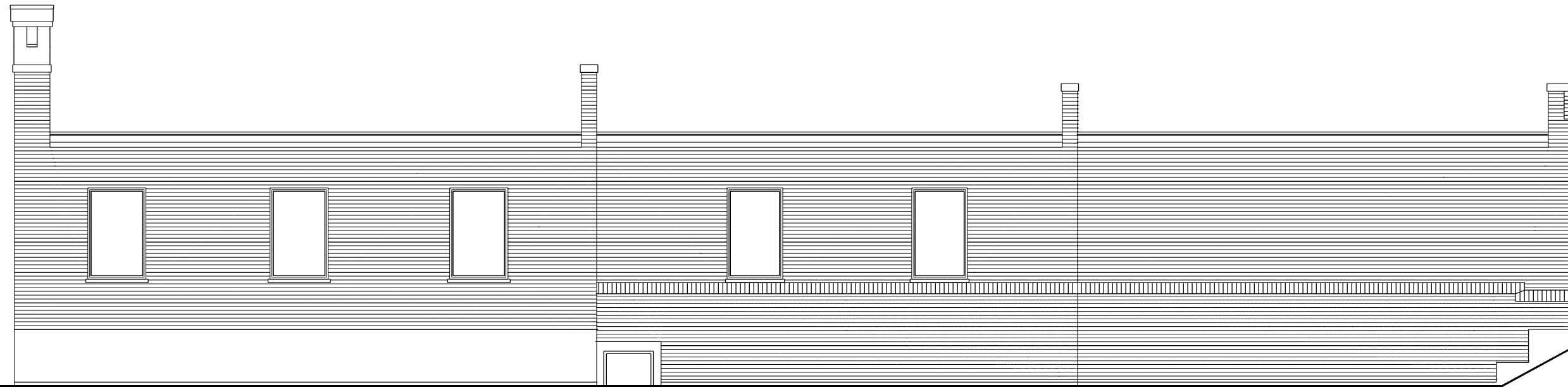
MAIN STREET ELEVATION



DRIVE-THRU ELEVATION



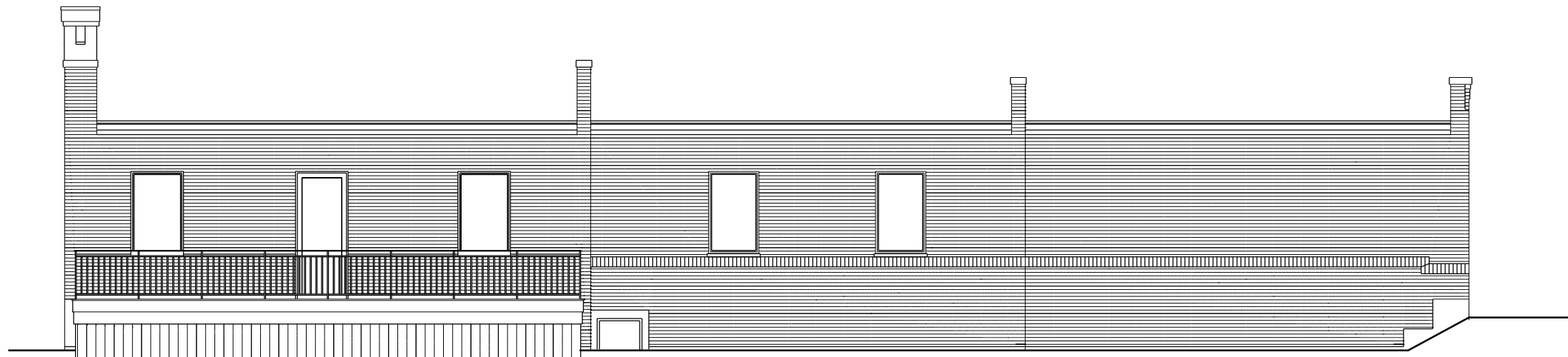
P A R K A V E N U E E L E V A T I O N



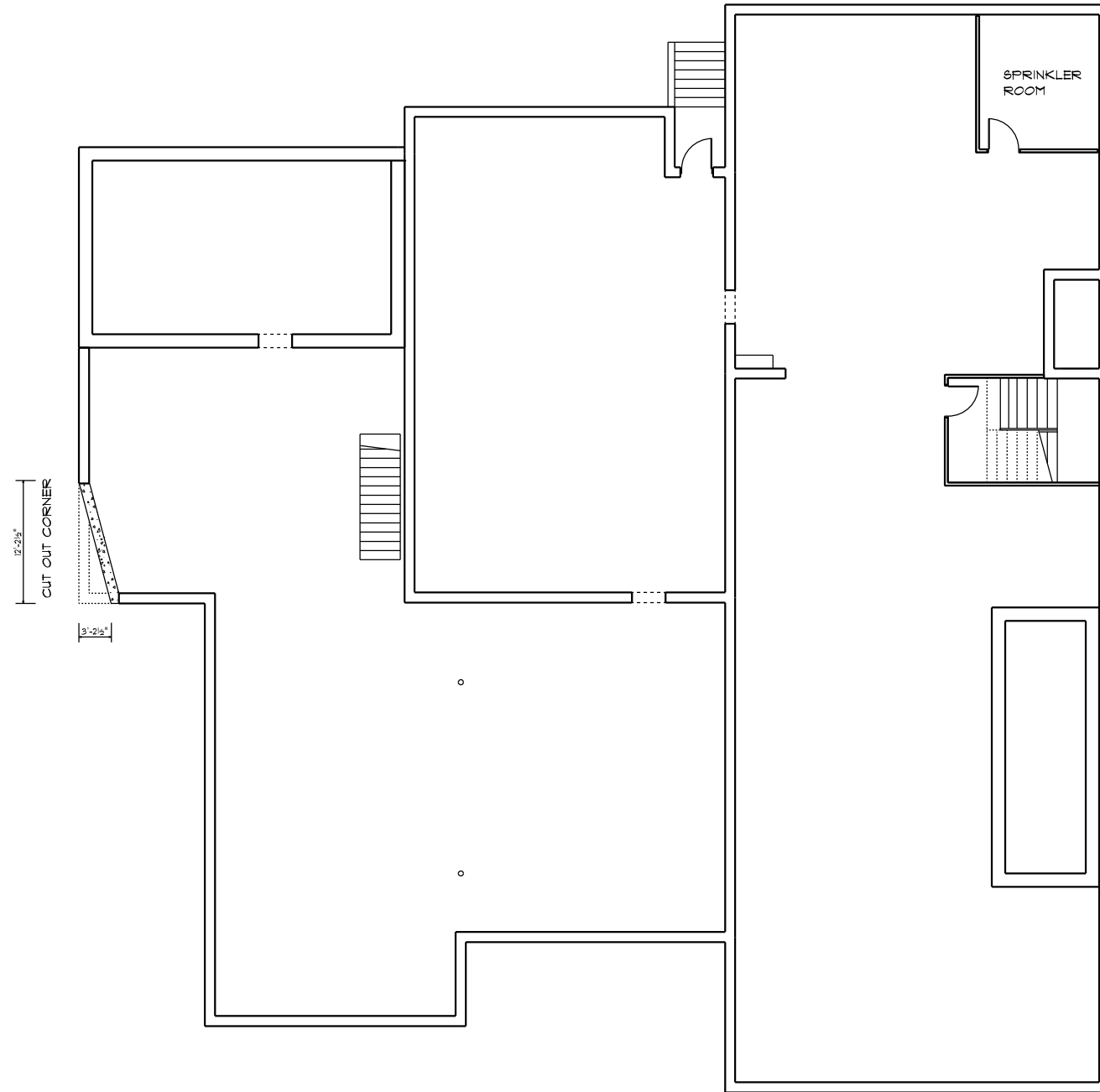
P A R K I N G L O T E L E V A T I O N



PARK AVENUE ELEVATION  
OPTION REAR DECK



PARKING LOT ELEVATION  
OPTION REAR DECK



BASEMENT PLAN

SCALE 1" = 15' - 0"

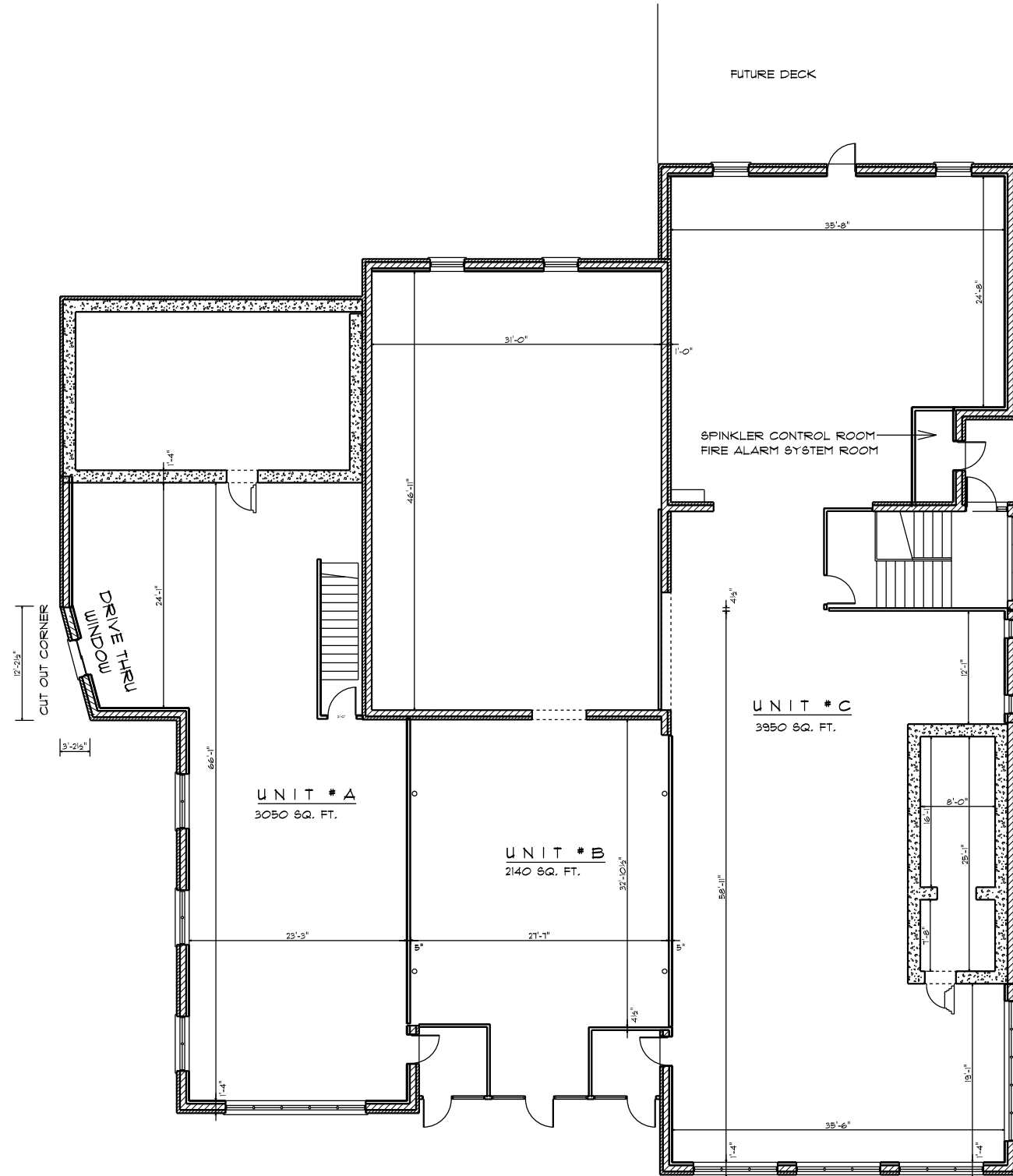
DATE	REVISION
MAR 17, 2020	
APR 28, 2020	
JUNE 28, 2020	

JOB #  
SHEET #  
**6**

EXTERIOR REMODEL FOR:  
**35 WEST MAIN STREET**  
LAKE ZURICH, ILLINOIS 60041

**GR**  
GINO ROMOZZI - ARCHITECT  
135 PARK AVE BARRINGTON, IL SUITE #200B  
847 - 707 - 2453 - ROMOZZI@GMAIL.COM





FIRST FLOOR PLAN

EXTERIOR REMODEL FOR:  
**35 WEST MAIN STREET**  
 LAKE ZURICH, ILLINOIS 60047

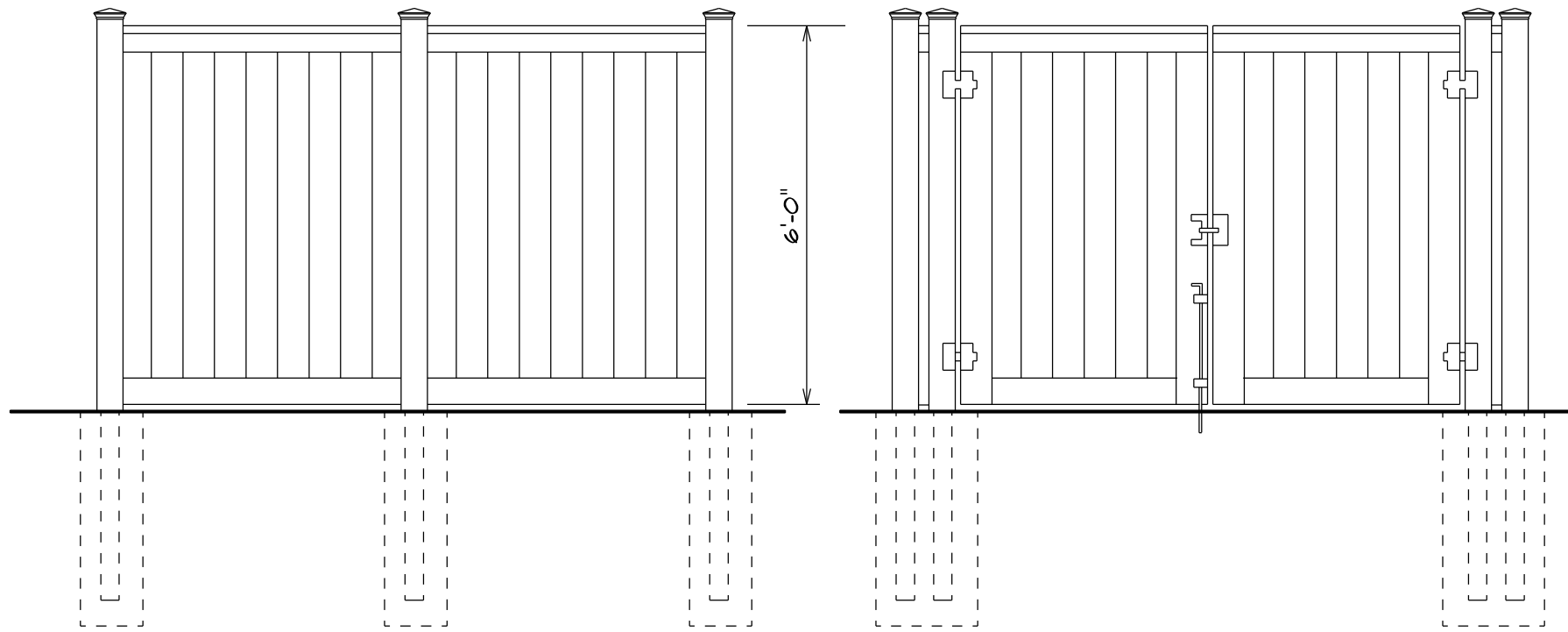
DATE  
 MAR 17, 2020  
 APR 28, 2020  
 JUNE 28, 2020

JOB #

SHEET #

7

**GR** GINO ROMOZZI - ARCHITECT  
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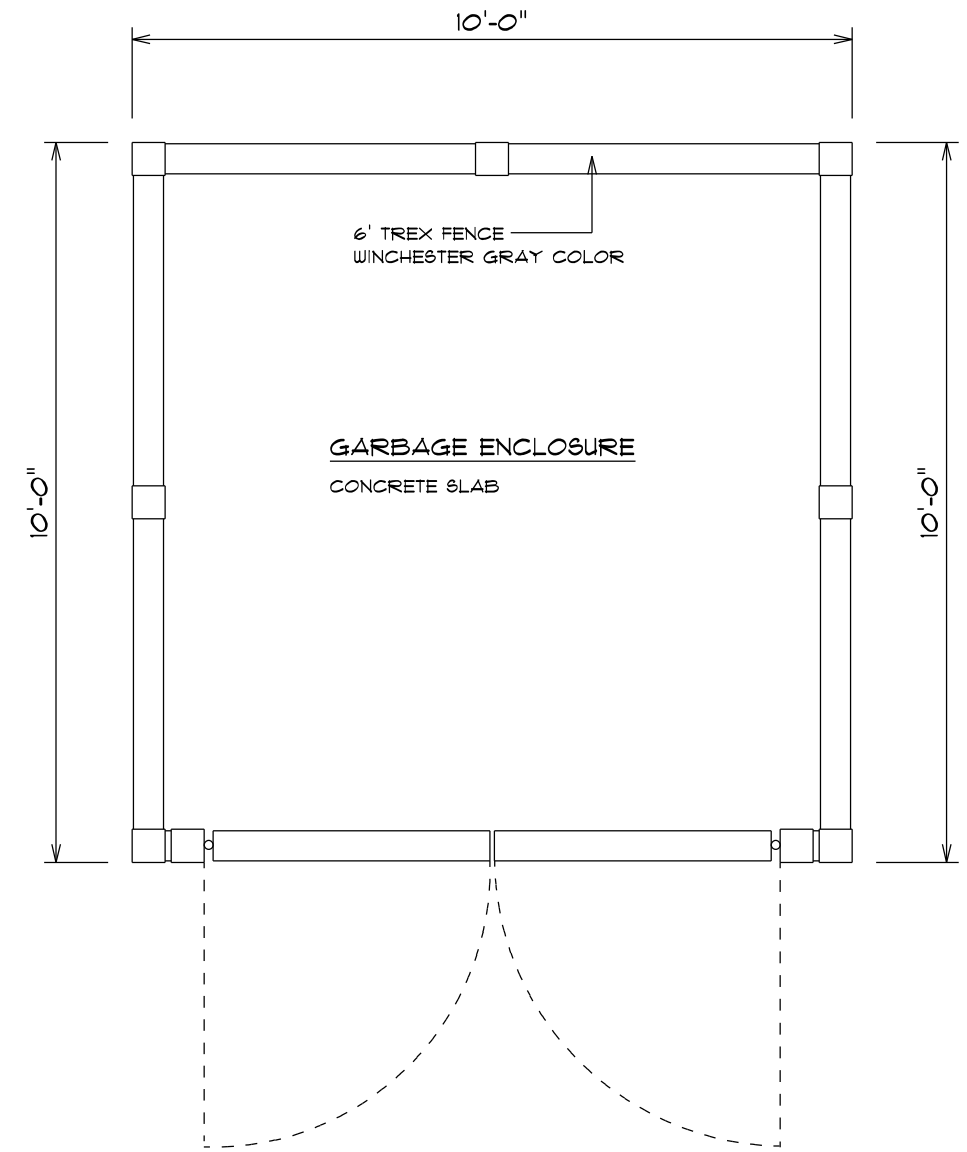


**GARBAGE SIDES**

SCALE 1/2" = 1'-0"

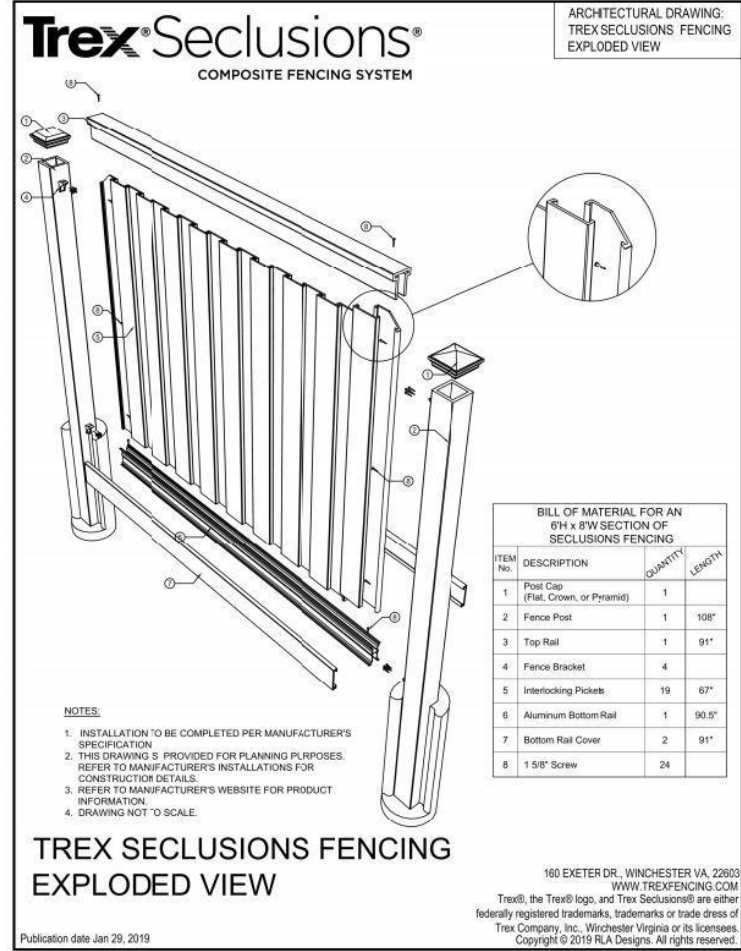
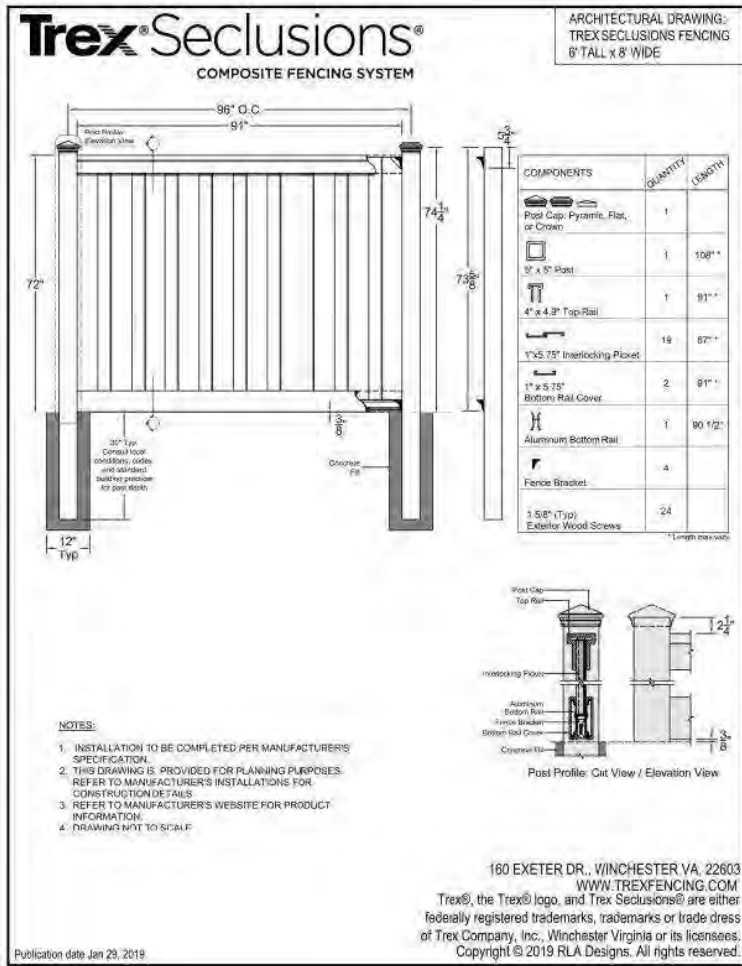
**GARBAGE ENTRY**

SCALE 1/2" = 1'-0"

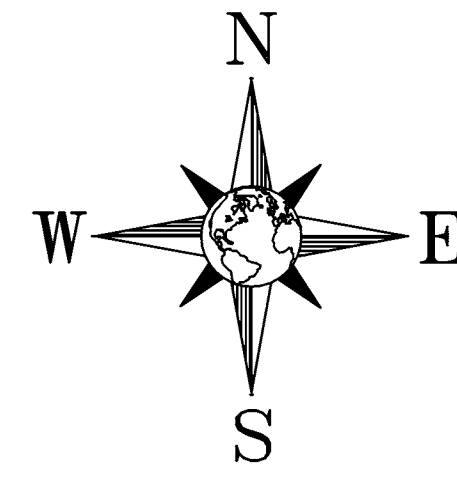


**GARBAGE PLAN**

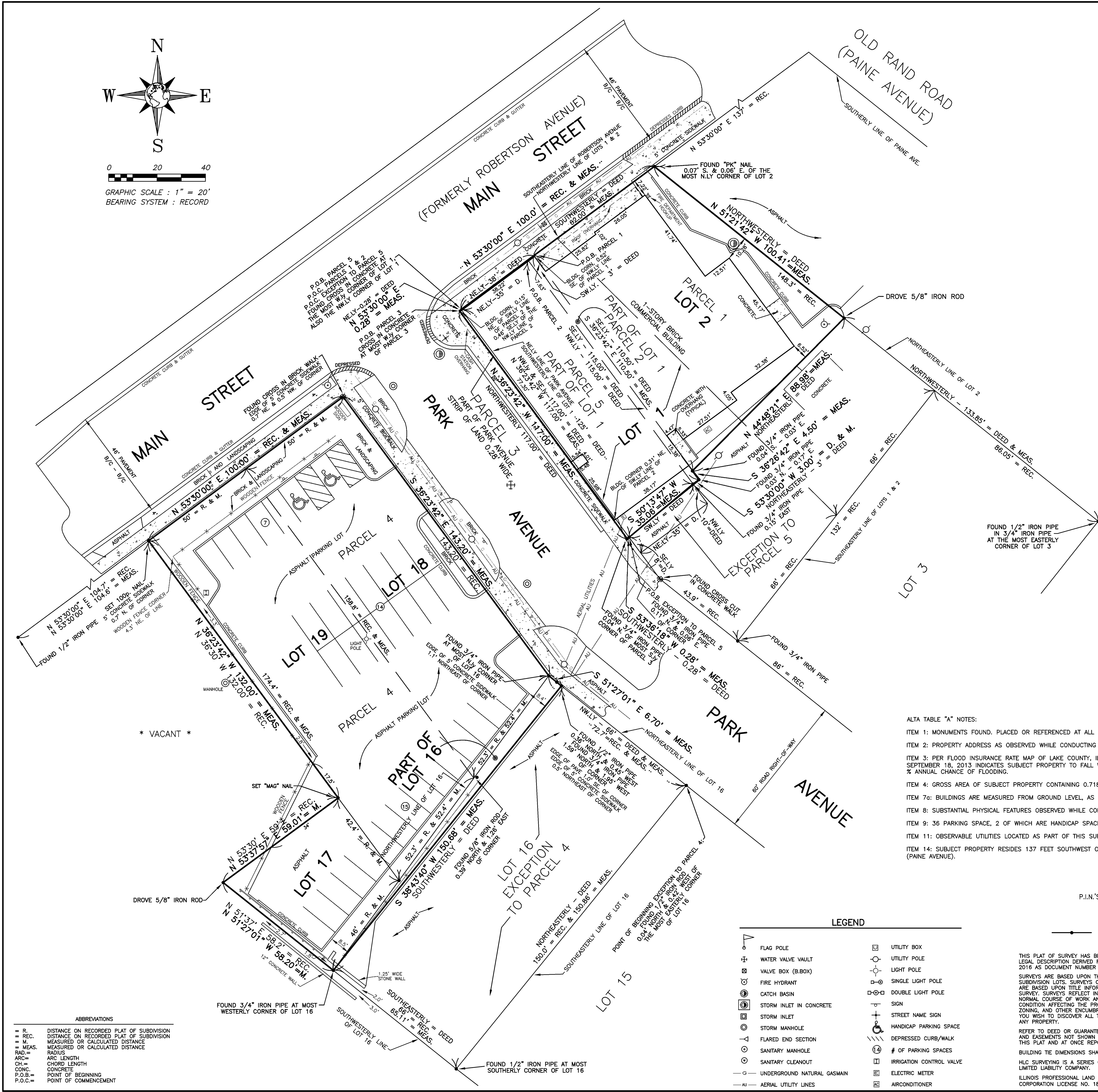
SCALE 1/2" = 1'-0"



# ALTA/NSPS LAND TITLE SURVEY



GRAPHIC SCALE : 1" = 20'  
BEARING SYSTEM : RECORD



### Legal Descriptions:

Parcel 1: That part of Lots 1 and 2 described as follows, to-wit: Commencing at a point on the Northwesterly line of said Lot 1, which is 38 feet Northwesterly of the most Westerly corner of said Lot 1; thence Southwesterly parallel with the Southwesterly line of said Lot 1, 110.5 feet; thence Northwesterly to a point on the Northwesterly line of said Lot 2, which is 133.85 feet Northwesterly of the most Easterly corner of Lot 3; thence Northwesterly along the Northwesterly line of said Lot 2, to the most Northerly corner thereof; and thence Southwesterly along the Northwesterly line of said Lots 1 and 2 to the place of beginning, in F.H. Kuebker's First Addition to Prospect Park, being a subdivision of part of the Northwest Quarter of the Northeast Quarter and the Northeast Quarter of the Northwest Quarter of Section 20, Township 43 North, Range 10 East of the Third Principal Meridian, according to the Plat thereof recorded October 19, 1907 as Document Number 114276 in Book "G" of Plats, Page 89 in Lake County, Illinois.

Parcel 2: A part of Lot 1 in F.H. Kuebker's First Addition to Prospect Park, being a subdivision of part of the Northwest Quarter of the Northeast Quarter and the Northeast Quarter of the Northwest Quarter of Section 20, Township 43 North, Range 10 East of the Third Principal Meridian, according to the Plat thereof recorded October 19, 1907 as Document Number 114276 in Book "G" of Plats, Page 89 in Lake County, Illinois, described as follows, to-wit: beginning at a point on the Northwesterly line of said Lot 1, 35 feet Northwesterly of the most Westerly corner of said Lot 1; thence Southeastery parallel to the Southwesterly line of said Lot 1, 115 feet; thence Northwesterly, parallel to the Northwesterly line of said Lot 1, 3 feet; thence Northwesterly parallel to the Southwesterly line of said Lot 1, 115 feet to the Northwesterly line of said Lot 1; thence Southwesterly along the Northwesterly line of said Lot 1, 3 feet to the Point of Beginning, in Lake County, Illinois.

Parcel 3: That part of Park Avenue in F.H. Kuebker's First Addition to Prospect Park, being a subdivision of part of the Northwest Quarter of the Northeast Quarter and the Northeast Quarter of the Northwest Quarter of Section 20, Township 43 North, Range 10 East of the Third Principal Meridian, according to the Plat thereof recorded October 19, 1907 as Document Number 114276 in Book "G" of Plats, Page 89 in Lake County, Illinois, described as follows: Beginning at a point on the Southeastery line of Main Street (formerly Robertson Avenue) extended straight Southwesterly, 0.28 feet from the Point of Intersection of said Southeastery line of Main Street and the Northeastery line of said Park Avenue (said Point of Intersection being the most Westerly corner of Lot 1 in aforementioned F.H. Kuebker's First Addition to Prospect Park; thence Northwesterly along the aforesaid extended Southeastery line of Main Street, 0.28 feet to said Point of Intersection; thence Southeastery along said Northeastery line of Park Avenue (being also the Southwesterly line of said Lot 1 in F.H. Kuebker's First Addition to Prospect Park), 117.00 feet; thence Southwesterly along a line perpendicular to said northeastery line of Park Avenue, 0.28 feet; thence Northwesterly along a straight line, 117.00 feet, more or less, to the Point of Beginning, in Lake County, Illinois.

Parcel 4: Lot 16, (except that part thereof, described as follows: Commencing at the most Easterly corner of said Lot; thence Northwesterly along the Northwesterly line of said Lot, 66 feet; thence Southwesterly to the most Westerly corner of said Lot; thence Southeastery along the Southwesterly line of said Lot to the most Southerly corner thereof; thence Northwesterly along the Southeastery line of said Lot to the Place of Beginning), and all of Lots 17, 18 and 19 in F.H. Kuebker's First Addition to Prospect Park, being a subdivision of part of the North half of Section 20, Township 43 North, Range 10 East of the Third Principal Meridian, according to the Plat thereof recorded October 19, 1907 in Book "G" of Plats, Page 89, as Document Number 114276 in Lake County, Illinois.

Parcel 5: That part of Lot 1 in F.H. Kuebker's First Addition to Prospect Park, being a subdivision of part of the North Half of Section 20, Township 43 North, Range 10 East of the Third Principal Meridian, according to the Plat thereof recorded October 19, 1907 as Document Number 114276 in Book "G" of Plats, Page 89 in Lake County, Illinois, described as follows: Beginning at the most Westerly corner of said Lot 1 (said corner being on the Southeastery line of Robertson Avenue); thence Southeastery along the Southwesterly line of said Lot 1, 125 feet; thence Northwesterly on a line parallel with the Northwesterly line of Park Avenue, 125 feet to said Southeastery line of Robertson Avenue; thence Southwesterly along said Southeastery line of Robertson Avenue, 35 feet to the Point of Beginning, (excepting therefrom that part of Lot 1, described as follows: Beginning at a point on said Southwesterly line of Lot 1, that is 117 feet Southeastery of said most Westerly corner of Lot 1; thence continuing Southeastery along said Southwesterly line of Lot 1, 8 feet to a point that is 125 feet Southeastery of said most Westerly corner of Lot 1; thence Northwesterly along a line parallel with the Northwesterly line of said Lot 1, 35 feet; thence Northwesterly along a line parallel with said Southwesterly line of Lot 1, 10 feet; thence Southwesterly in a straight line to the Point of Beginning), in Lake County, Illinois.

- ALTA TABLE "A" NOTES:
- ITEM 1: MONUMENTS FOUND, PLACED OR REFERENCED AT ALL MAJOR PROPERTY CORNER, AS SHOWN AND PLATTED HEREON.
  - ITEM 2: PROPERTY ADDRESS AS OBSERVED WHILE CONDUCTING FIELD WORK, AS SHOWN AND PLATTED HEREON.
  - ITEM 3: PER FLOOD INSURANCE RATE MAP OF LAKE COUNTY, ILLINOIS, MAP NUMBER 17097C0229K WITH AN EFFECTIVE DATE OF SEPTEMBER 18, 2013 INDICATES SUBJECT PROPERTY TO FALL WITHIN FLOOD ZONE "X" AN AREA DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE OF FLOODING.
  - ITEM 4: GROSS AREA OF SUBJECT PROPERTY CONTAINING 0.7180 ACRES.
  - ITEM 7a: BUILDINGS ARE MEASURED FROM GROUND LEVEL, AS SHOWN HEREON.
  - ITEM 8: SUBSTANTIAL PHYSICAL FEATURES OBSERVED WHILE CONDUCTING FIELD WORK, AS SHOWN HEREON.
  - ITEM 9: 36 PARKING SPACE, 2 OF WHICH ARE HANDICAP SPACES.
  - ITEM 11: OBSERVABLE UTILITIES LOCATED AS PART OF THIS SURVEY, AS SHOWN HEREON.
  - ITEM 14: SUBJECT PROPERTY RESIDES 137 FEET SOUTHWEST OF THE INTERSECTION OF WEST MAIN STREET AND OLD RAND ROAD (PAINE AVENUE).

State of Illinois S.S.  
County of McHenry  
To: Donald Malin  
  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 7a, 8, 11 Observable and 14 of Table A thereof. Field work was completed on November 22nd., 2019.  
  
Dated this 6th. day of December, 2019 at McHenry, Illinois.

Mark T. Bernhard  
Illinois Professional Land Surveyor No. 35-3028  
License renewal date : 11-30-2020

- ABBREVIATIONS
- R = DISTANCE ON RECORDED PLAT OF SUBDIVISION
  - REC = DISTANCE ON RECORDED PLAT OF SUBDIVISION
  - M = MEASURED OR CALCULATED DISTANCE
  - MEAS = MEASURED OR CALCULATED DISTANCE
  - RAD = RADIUS
  - ARC = ARC LENGTH
  - CH = CHORD LENGTH
  - CONC. = CONCRETE
  - P.O.B. = POINT OF BEGINNING
  - P.O.C. = POINT OF COMMENCEMENT

- LEGEND
- FLAG POLE
  - WATER VALVE VAULT
  - VALVE BOX (B.BOX)
  - FIRE HYDRANT
  - CATCH BASIN
  - STORM INLET IN CONCRETE
  - STORM INLET
  - STORM MANHOLE
  - FLARED END SECTION
  - UNDERGROUND NATURAL GASMAIN
  - AERIAL UTILITY LINES
  - UTILITY BOX
  - UTILITY POLE
  - LIGHT POLE
  - SINGLE LIGHT POLE
  - DOUBLE LIGHT POLE
  - SIGN
  - STREET NAME SIGN
  - HANDICAP PARKING SPACE
  - DEPRESSED CURB/WALK
  - # OF PARKING SPACES
  - IRRIGATION CONTROL VALVE
  - ELECTRIC METER
  - AIRCONDITIONER

THIS PLAT OF SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE POLICY. LEGAL DESCRIPTION DERIVED FROM A SPECIAL WARRANTY DEED RECORDED MAY 12, 2016 AS DOCUMENT NUMBER 7291275 IN LAKE COUNTY, ILLINOIS.

SURVEYS ARE BASED UPON THE RECORDED SUBDIVISION PLAT IN CASES OF REGULAR SUBDIVISION LOTS. SURVEYS OF PROPERTIES NOT A PART OF A REGULAR SUBDIVISION ARE BASED UPON TITLE INFORMATION PROVIDED BY THE PARTY REQUESTING THE SURVEY. SURVEYS REFLECT INFORMATION DISCOVERED BY THE SURVEYOR IN THE NORMAL COURSE OF WORK AND DOES NOT NECESSARILY SHOW EVERY POSSIBLE CONDITION AFFECTING THE PROPERTY, EASEMENTS, SERVITUDE, BUILDING ORDINANCES, ZONING, AND OTHER ENCUMBRANCE THAT MAY EXIST. CONSULT A TITLE ATTORNEY IF YOU WISH TO DISCOVER ALL THE LEGAL ENCUMBRANCES THAT MAY BE ATTACHED TO ANY PROPERTY.

REFER TO DEED OR GUARANTEE POLICY AND LOCAL ORDINANCES FOR BUILDING LINES AND EASEMENTS NOT SHOWN HEREON. COMPARE YOUR DESCRIPTION AND POINTS WITH THIS PLAT AND AT ONCE REPORT ANY APPARENT DIFFERENCE TO THE SURVEYOR.

BUILDING THE DIMENSIONS SHALL NOT BE USED TO DETERMINE LOT LINE LOCATIONS.

HLC SURVEYING IS A SERIES OF HERITAGE LAND CONSULTANTS, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY.

ILLINOIS PROFESSIONAL LAND SURVEY AND PROFESSIONAL ENGINEERING DESIGN FIRM CORPORATION LICENSE NO. 184-004955 EXPIRES : 04/30/2020

ALTA/NSPS LAND TITLE SURVEY	
SCALE : 1" = 20'	REVISIONS
DATE : 12-04-2019	
DATE OF FIELD WORK: 11-22-2019	
DISK: 191202 FILE NO. 19298 SUR	
DISK: 97311 PAC. NO. 97311P	
PREPARED FOR: DONALD MALIN	PROPERTY ADDRESS: 35 WEST MAIN STREET LAKE ZURICH, ILLINOIS
DRAWN BY: TVA	CHECKED BY: MTB
	JOB NO. 2019-298 ALTA

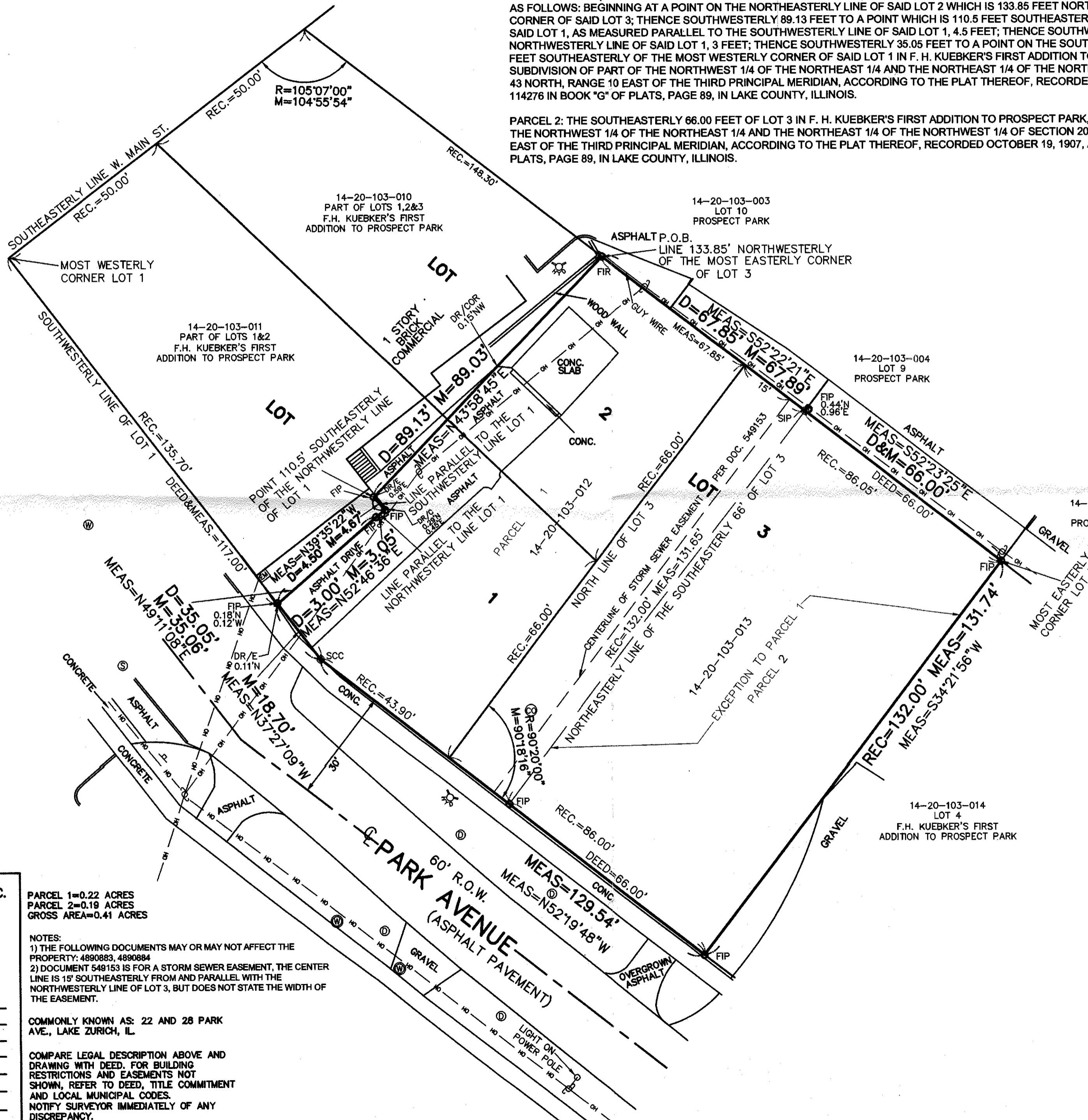


# ALTA/NSPS LAND TITLE SURVEY

OF

PARCEL 1: LOT 3 (EXCEPT THE SOUTHEASTERLY 66 FEET THEREOF) AND THAT PART OF LOTS 1 AND 2 LYING SOUTHEASTERLY OF A LINE DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHEASTERLY LINE OF SAID LOT 2 WHICH IS 133.85 FEET NORTHWESTERLY OF THE MOST EASTERLY CORNER OF SAID LOT 3; THENCE SOUTHWESTERLY 89.13 FEET TO A POINT WHICH IS 110.5 FEET SOUTHEASTERLY OF THE NORTHWESTERLY LINE OF SAID LOT 1, AS MEASURED PARALLEL TO THE SOUTHWESTERLY LINE OF SAID LOT 1, 4.5 FEET; THENCE SOUTHWESTERLY PARALLEL TO THE NORTHWESTERLY LINE OF SAID LOT 1, 3 FEET; THENCE SOUTHWESTERLY 35.05 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF SAID LOT 1, 117 FEET SOUTHEASTERLY OF THE MOST WESTERLY CORNER OF SAID LOT 1 IN F. H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED OCTOBER 19, 1907, AS DOCUMENT 114276 IN BOOK "G" OF PLATS, PAGE 89, IN LAKE COUNTY, ILLINOIS.

PARCEL 2: THE SOUTHEASTERLY 66.00 FEET OF LOT 3 IN F. H. KUEBKER'S FIRST ADDITION TO PROSPECT PARK, BEING A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF SECTION 20, TOWNSHIP 43 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF, RECORDED OCTOBER 19, 1907, AS DOCUMENT 114276, IN BOOK "G" OF PLATS, PAGE 89, IN LAKE COUNTY, ILLINOIS.



PARKING SPACE TABLE  
REGULAR SPACES - 0  
HANDICAP SPACES - 0

PARCEL IDENTIFICATION NUMBERS ASSOCIATED WITH PROPERTY:  
14-20-103-012  
14-20-103-013

I FURTHER CERTIFY THAT THE PROPERTY DESCRIBED HEREON IS SHOWN ON MAP NUMBER 17097C0229K DATED SEPTEMBER 18, 2013 TO BE IN "ZONE X" WHICH IS DEFINED BY FEMA AS "AREA OF MINIMAL FLOOD HAZARD."

14-20-103-005  
LOT 8  
PROSPECT PARK

14-20-103-004  
LOT 9  
PROSPECT PARK

14-20-103-014  
LOT 4  
F. H. KUEBKER'S FIRST  
ADDITION TO PROSPECT PARK

## LEGEND

- FOUND IRON PIPE
- FOUND IRON ROD
- SET CUT CROSS
- SET IRON PIPE
- POWER POLE
- STORM MANHOLE
- ELECTRIC METER
- SANITARY MANHOLE
- SANITARY CLEANOUT
- B/BOX
- HYDRANT
- OVERHEAD WIRES
- SIGN

PRECISION LAND SURVEYORS, INC.  
d.b.a. TERATEK, INC.  
SURVEYORS-ENGINEERS-CONSULTANTS

PROFESSIONAL DESIGN FIRM  
LICENSE #184-004383 EXPIRES: 4/30/2021  
603 E. BURNETT ROAD  
ISLAND LAKE, IL 60042  
(847) 487-0500

DRAWING NO.: P200111C  
ORDERED BY: MALIN  
DRAWN BY: AM  
FIELDWORK COMPLETED: 1/24/2020  
RECORDS FROM: PLAT OF SUBDIVISION  
BASIS OF BEARINGS: ASSUMED  
SCALE: 1"=20'

PARCEL 1=0.22 ACRES  
PARCEL 2=0.19 ACRES  
GROSS AREA=0.41 ACRES

NOTES:  
1) THE FOLLOWING DOCUMENTS MAY OR MAY NOT AFFECT THE PROPERTY: 4890883, 4890884  
2) DOCUMENT 549153 IS FOR A STORM SEWER EASEMENT, THE CENTER LINE IS 15' SOUTHEASTERLY FROM AND PARALLEL WITH THE NORTHWESTERLY LINE OF LOT 3, BUT DOES NOT STATE THE WIDTH OF THE EASEMENT.

COMMONLY KNOWN AS: 22 AND 28 PARK AVE., LAKE ZURICH, IL

COMPARE LEGAL DESCRIPTION ABOVE AND DRAWING WITH DEED. FOR BUILDING RESTRICTIONS AND EASEMENTS NOT SHOWN, REFER TO DEED, TITLE COMMITMENT AND LOCAL MUNICIPAL CODES.  
NOTIFY SURVEYOR IMMEDIATELY OF ANY DISCREPANCY.

STATE OF ILLINOIS)  
S.S.  
COUNTY OF LAKE)

TO: VELA CARINA LLC, AN ILLINOIS LIMITED LIABILITY COMPANY  
THE VILLAGE OF LAKE ZURICH  
RIVERSIDE TITLE SERVICES  
CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7a, 6, 9, 11 (OBSERVED EVIDENCE COLLECTED PURSUANT TO SECTION 5.E.IV), 13 AND 14 FROM TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 24, 2020.

DATE THIS MAP OR PLAT WAS MADE: 11 DAY OF February, 2020.

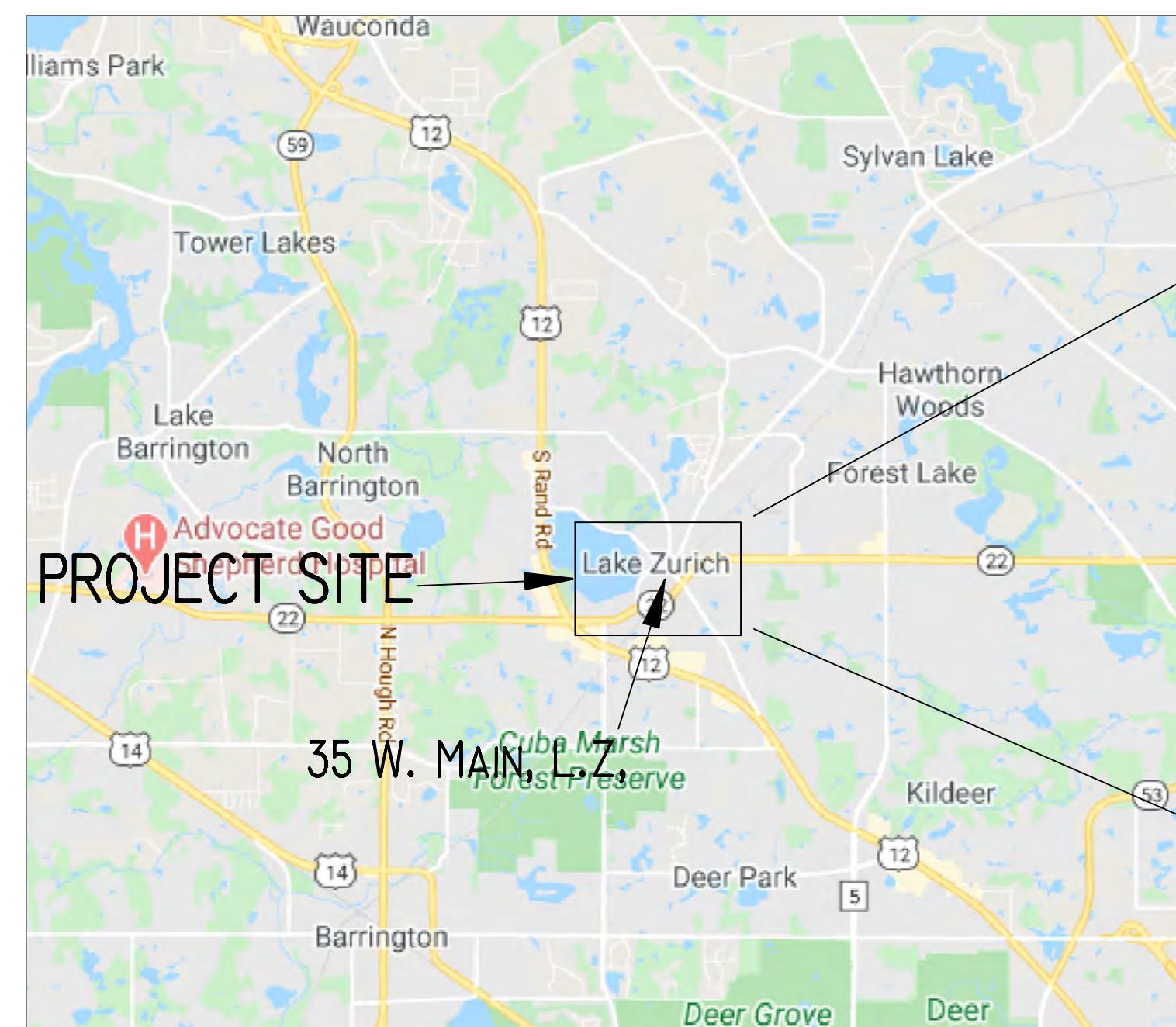
DAVID A. HEMBD, P.L.S., C.  
REGISTRATION NO. 836.00007  
EXPIRES 11-30-20

# CIVIL PLAN SET FOR DRIVE THROUGH AND NEW PARKING LOT 35 WEST MAIN STREET, LAKE ZURICH IL 60047

## INDEX

1. Cover Sheet and Information
2. Existing C2
3. Demolition
4. SESC Plan
5. Proposed Geometrics
6. Landscape
7. Grading & Utility
8. Detail 1 of 3
9. Detail 2 of 3
10. Detail 3 of 3

PROJECT LOCATION MAP #1



PROJECTION LOCATION MAP #2



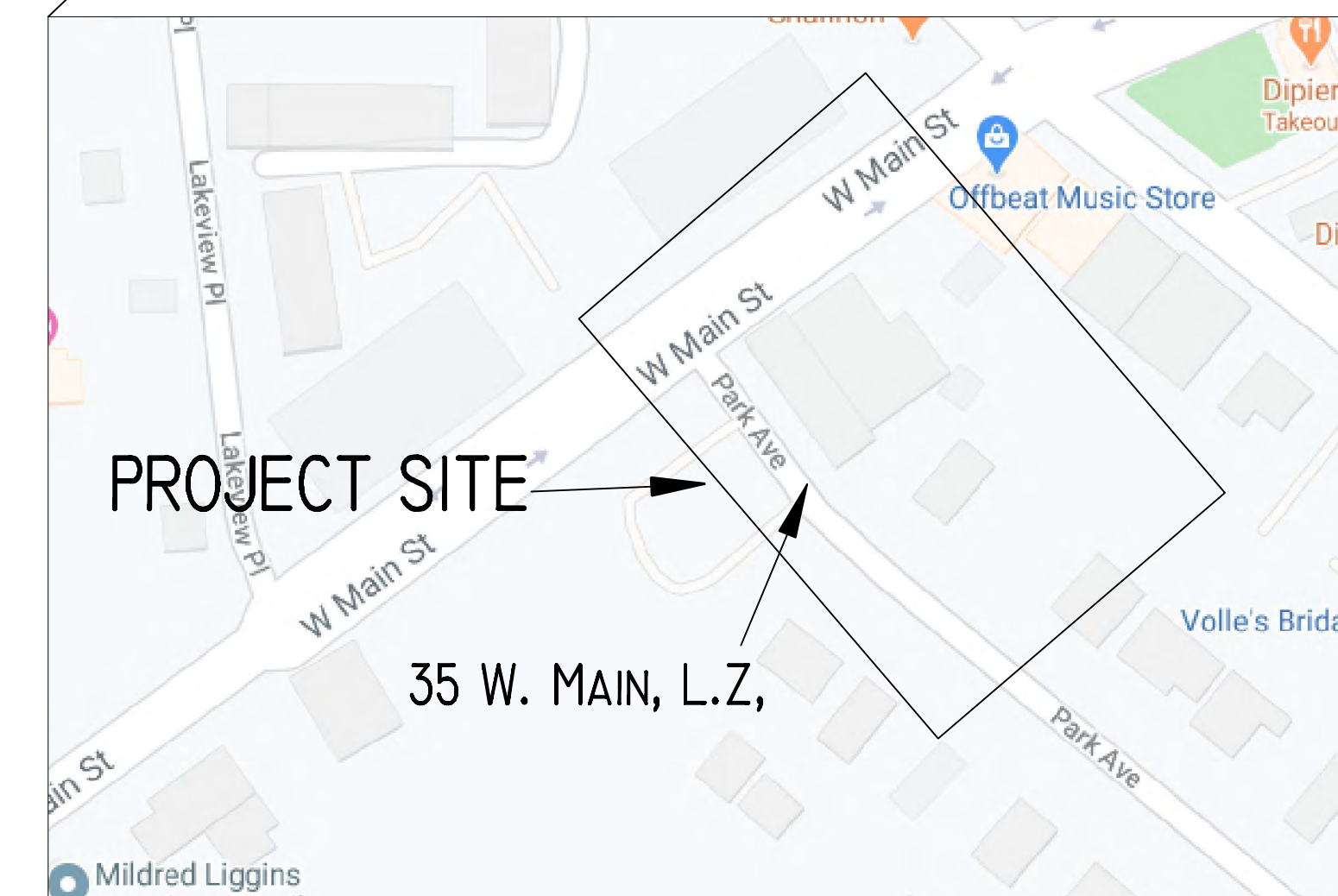
## LEGEND

EXISTING	PROPOSED

CALL J.U.L.I.E.  
BEFORE YOU DIG  
1-800-892-0123



PROJECTION LOCATION MAP #3  
AERIAL VIEW



PROJECTION LOCATION MAP #3

### Latitude & Longitude

Adjacent to:  
35 W. Main Street  
Lake Zurich, IL 60047

Latitude: 42.196250 °  
Longitude: -88.093560 °  
Source: Latlong.net

EXPIRES 11/30/2021

SEAL

LICENSE EXP. DATE 11/30/2021

DANIEL J. GRECCO  
Professional Engineer  
No. 06332  
Lisle, IL

SIGNATURE

I HEREBY CERTIFY THAT THE PROPOSED STORMWATER DRAINAGE IMPROVEMENTS WILL NOT ADVERSELY IMPACT THE SUBJECT PROPERTY, THE SURROUNDING PROPERTIES OR THE PUBLIC RIGHT-OF-WAY WITH RESPECTS TO STORMWATER DRAINAGE AND THAT A SAFE OVERFLOW ROUTE FOR REAR/SIDE YARD STORM WATER HAS BEEN ESTABLISHED.

**ENGINEER**  
DAN GRECCO, P.E.  
Professional Civil Engineer  
1042 Maple Avenue, Suite 130  
Lisle, IL 60532  
(630) 745-0524  
dgrecco@aim.com

**BENCHMARK DATA**  
Description: Lake Zurich Benchmark (NGS Mon. AJ3081)  
Elevation Provided : 871.32 (1988 / N.A.V.D.)  
Temp Provided: Northwest Bonnet Bolt of Hydrant, located within the east parkway of Park Avenue, approximately 150 feet south of the S.W. corner of 35 W. Park.  
Elevation Provided : 867.45 (1988 / N.A.V.D.)

SHEET: C1

1. JUN 08, 2020	DESIGN FOR REVIEW
2. JUN 08, 2020	REVISED TO ONE WAY TO MAKE RT.
3.	
4.	
5.	
6.	
7.	
8.	

35 W. MAIN ST  
LAKE ZURICH, IL

COVER SHEET

OWNERS: Cindarea & David Main  
Vela Carina LLC  
564 N. Old Rand Road  
Lake Zurich, IL 60047  
779-251-9966  
cindaream@gmail.com  
dm3488@icloud.com

ARCHITECT:  
Joe Meyers & Associates  
135 Park Avenue  
Barrington, IL 60010  
(847) 382-0200  
meyer-wichman@ebgglobal.net

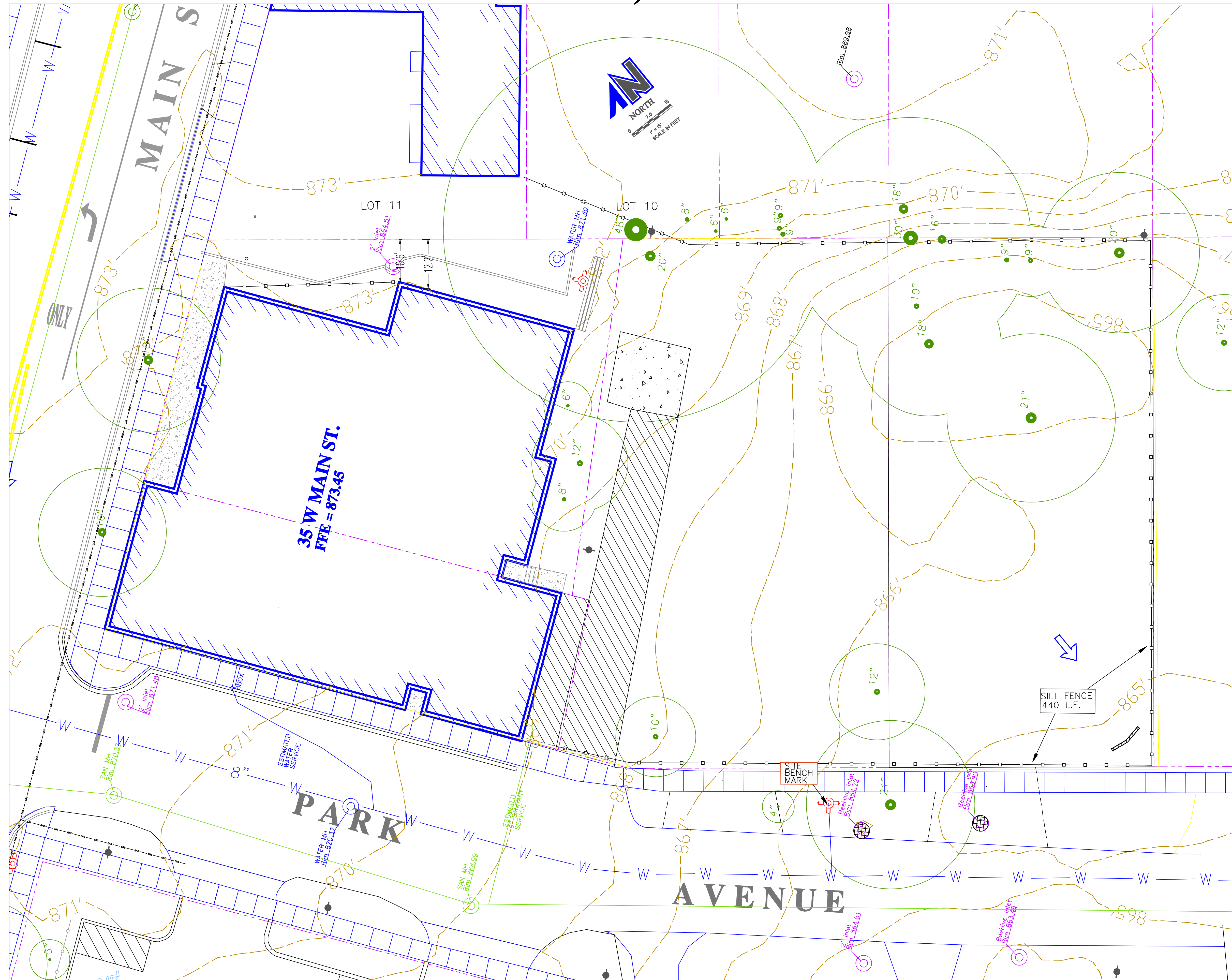
CIVIL ENGINEER:  
Dan Grecco  
1042 Maple Ave, Suite 130  
Lisle, IL 60532  
630-745-0524  
dgrecco@aim.com

SCALE  
AS SHOWN

SHEET  
C1

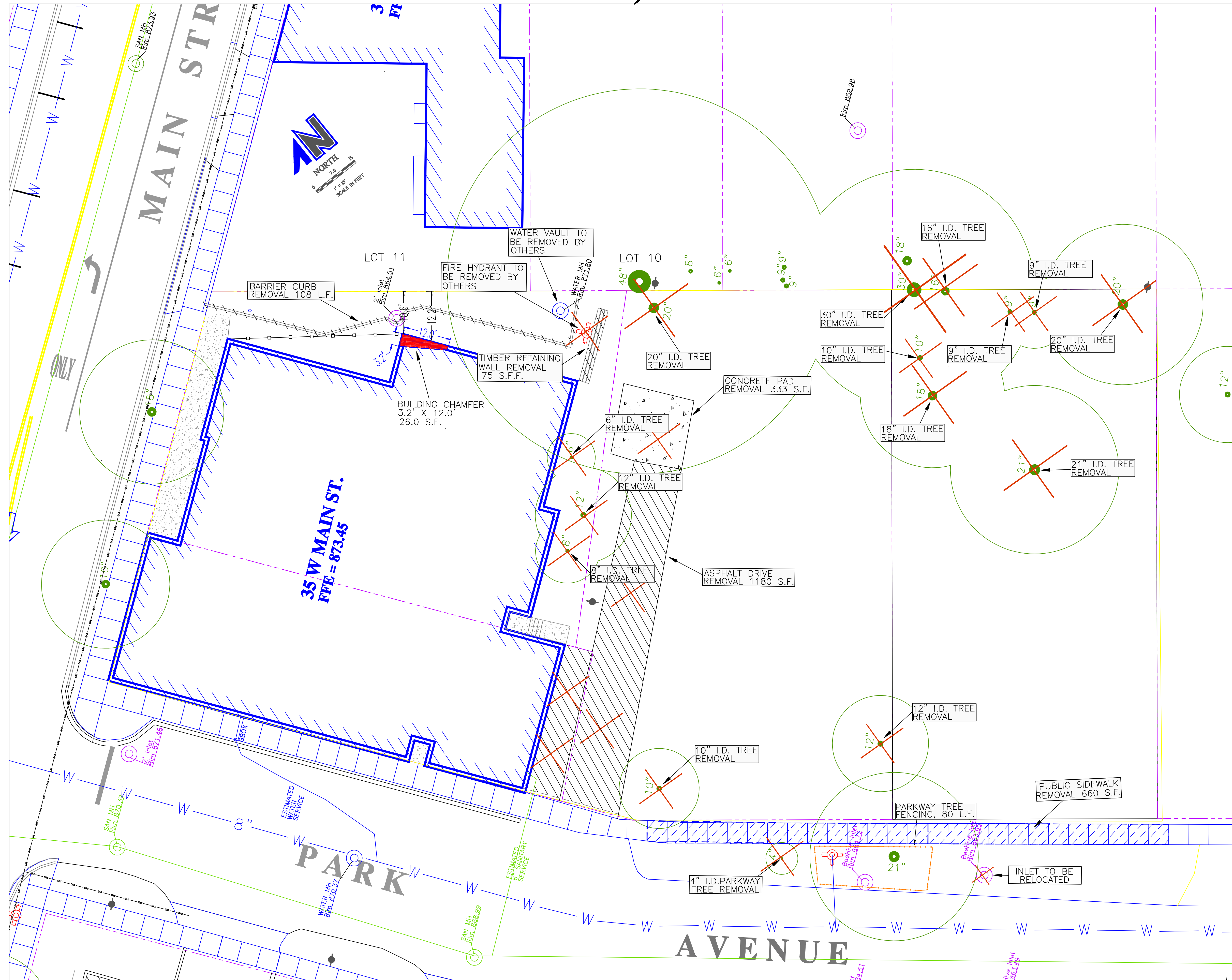
Date  
JUN 25, 2020

# EXISTING CONDITIONS - DRIVE THROUGH AND NEW PARKING LOT 35 WEST MAIN STREET, LAKE ZURICH IL 60047



DATE: JUN 25, 2020	SCALE: AS SHOWN	SHEET: C3
CITY ENGINEER: Dan Crecio 1042 Maple Ave, Suite 130 Lake IL 60032 630-745-0524 dcrecio@aem.com	ARCHITECT: Joe Meyers & Associates 135 Park Avenue Barrington, IL 60010 (847) 382-0200 meyers-wichman@ebgglobal.net	OWNERS: Ghidarese & David Malin Yola Corina LLC 564 N. Old Rand Road Lake Zurich, IL 60047 773-251-9966 dm3483@icloud.com
<b>EXISTING CONDITIONS PLAN</b>		
<b>35 W. MAIN ST LAKE ZURICH, IL</b>		
SHEET: C8		

# DEMOLITION PLAN - DRIVE THROUGH AND NEW PARKING LOT 35 WEST MAIN STREET, LAKE ZURICH IL 60047

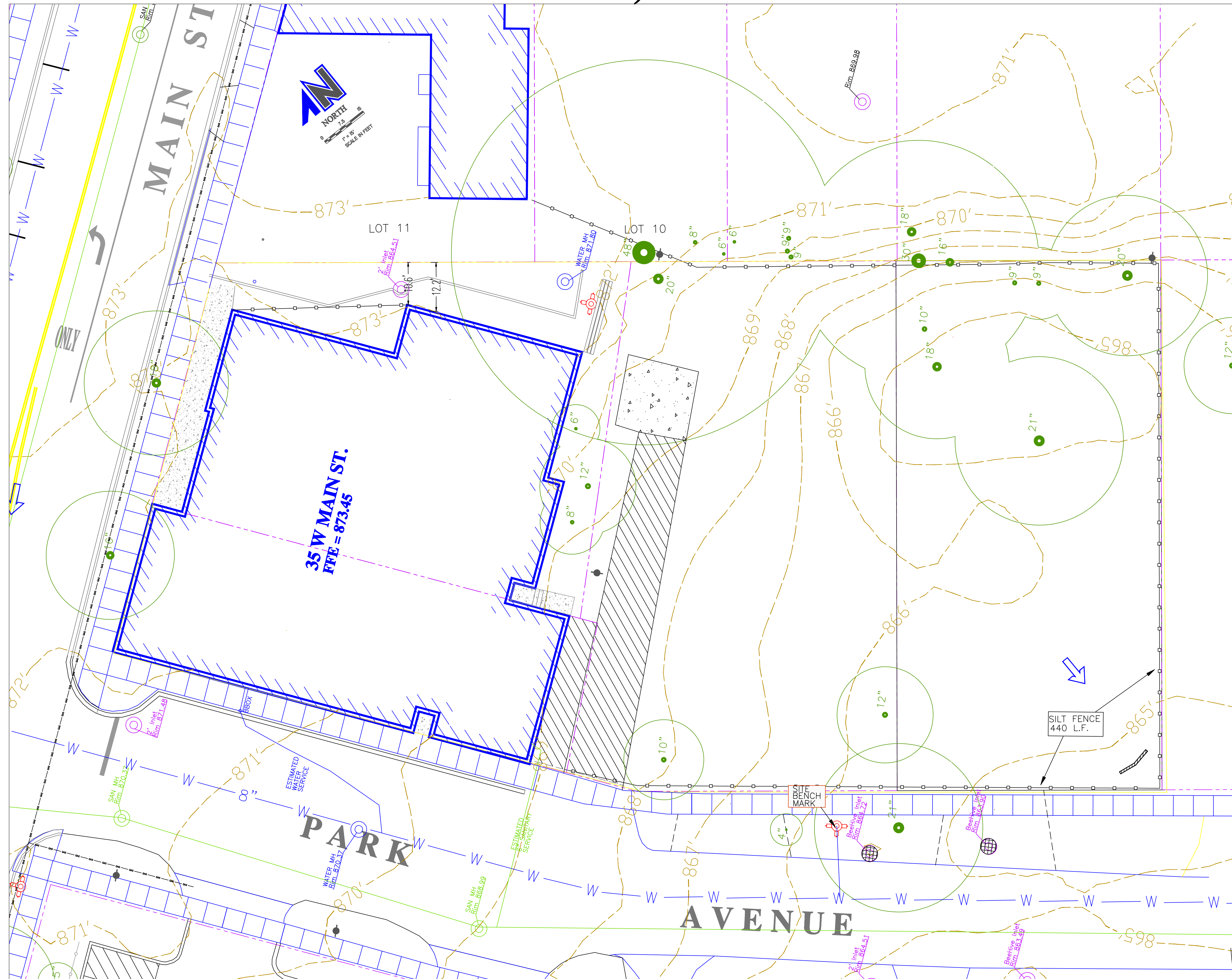


DATE: JUN 25, 2020	SHEET: C3
OWNER: Ghadare & David Malin Yela Corbis LLC 564 N. Old Rand Road Lake Zurich, IL 60047 773-251-9966 dm3483@icloud.com	DEMOLITION PLAN 35 W. MAIN ST LAKE ZURICH, IL
ARCHITECT: Joe Meyers & Associates 135 Park Avenue Barrington, IL 60010 (847) 382-0200 meyer-wichman@bcgglobal.net	
CIVIL ENGINEER: Dan Grecco 1042 Maple Ave, Suite 130 Lisle, IL 60532 630-745-0524 dgrecco@aim.com	SHEET: C3 1. DATE: JUN 25, 2020 2. DATE: JUN 25, 2020 3. DATE: JUN 25, 2020 4. DATE: JUN 25, 2020 5. DATE: JUN 25, 2020 6. DATE: JUN 25, 2020 7. DATE: JUN 25, 2020 8. DATE: JUN 25, 2020
SCALE: AS SHOWN	DATE: JUN 25, 2020



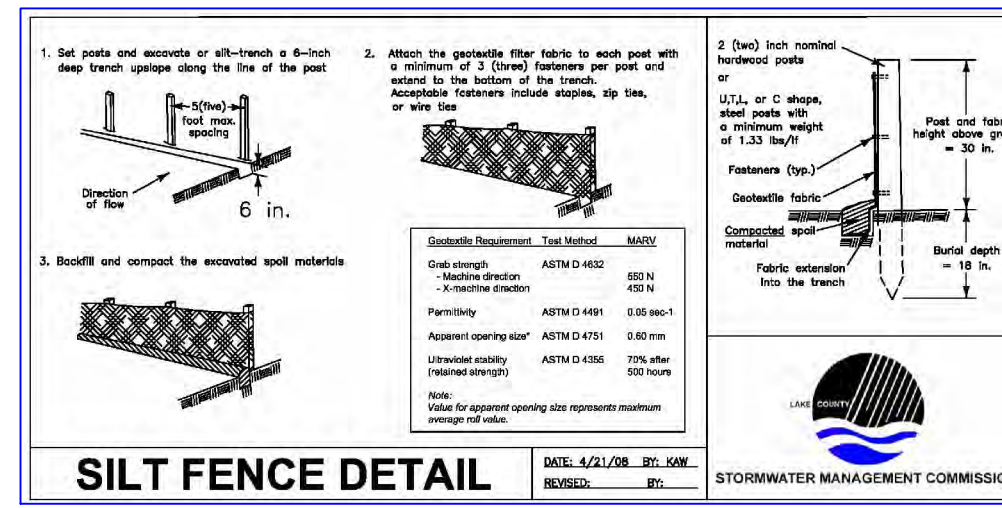
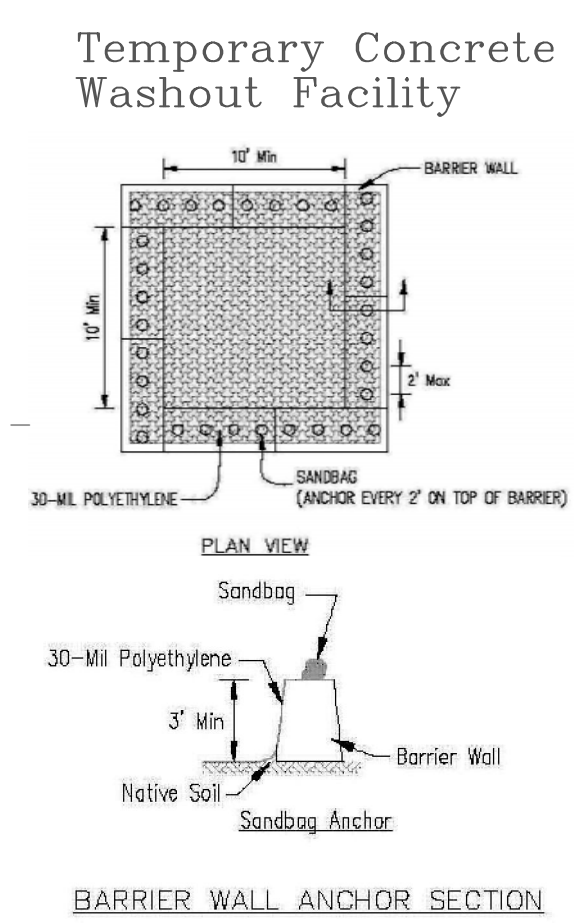
# SESC PLAN - DRIVE THROUGH AND NEW PARKING LOT

## 35 WEST MAIN STREET, LAKE ZURICH IL 60047



**LEGEND**

DRAINAGE DIRECTION GENERAL	→
PROPOSED DRAIN TILE	—○—
DOWN SPOUT DIRECTION	→
EXISTING CONTOUR	---○---
EXISTING GRADE	△
PROPOSED CONTOUR	---○---
PROPOSED GRADE	△
UTILITY POLE	○
SANITARY SEWER	—○—
STORM SEWER	—○—
FENCE LINE	—○—
SILT FENCE LINE	—○—
100 YEAR OVERLAND FLOW ROUTE	→
STAKED COR LOG	—○—
INLET SEDIMENT BASKET	○



**SESC NOTES:**

The proposed grade changes will not cause surface water to be diverted onto or detained on abutting or nearby property, will not significantly alter existing drainage patterns, and will not increase or concentrate stormwater runoff onto abutting or nearby property. Owner agrees to hold harmless the Engineer for the attempts made by the contractor to save the large diameter trees. It shall be the contractor's responsibility to verify utility depth locations, by means of pot-holing if necessary. Gas main locations not shown, and responsibility of contractor.

The right-of-way must be restored to existing or better condition. All damaged roadway turf areas within the public right-of-way to be restored with 6" of pulverized topsoil with sod and watered as required to sustain growth.

Concrete wash out must not occur within the right-of-way. The contractor/developer will have the responsibility to keep all public right-of-way free from dirt and debris. Trucks and other construction equipment should be cleaned onsite to prevent mud from being deposited on the public right-of-way. Stockpiles shall be for foundation backfill only. All other excavated materials shall be removed from the site immediately. Stockpiles of soil that will remain for a period of 7 days shall be stabilized and provided with the appropriate erosion and sedimentation control measures.

The Contractor will provide tree protection in accordance with the approved Tree Preservation Plan for all parkway and front yard trees within the limits of the proposed work, access to site, storage of materials, etc., and shall auger under the drip line of all trees where practical. Please refer to the approved Zoning Application for all required setback dimensions.

The Existing Drive shall serve as construction access — no other access across street right of ways is allowed. Any changes to the site plan or in the field during construction must be approved by the design engineer, for written submission in writing to the Village of Lake Zurich. Gas main locations not shown.

SHEET: C4

35 W. MAIN ST  
LAKE ZURICH, IL

SESC  
PLAN

OWNERS: Ghidarese & David Malin  
Yola Curtis LLC  
584 N. Old Rand Road  
Lake Zurich, IL 60047  
773-251-9966  
dms3483@icloud.com

ARCHITECT: Joe Meyers & Associates  
135 Park Avenue  
Barrington, IL 60010  
(847) 382-0200  
meyers-wichman@ebglobbal.net

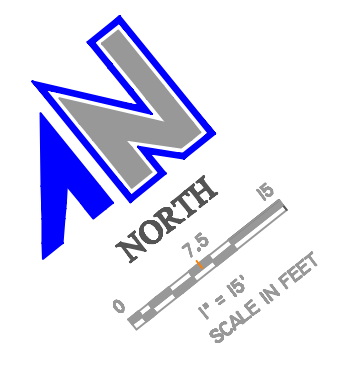
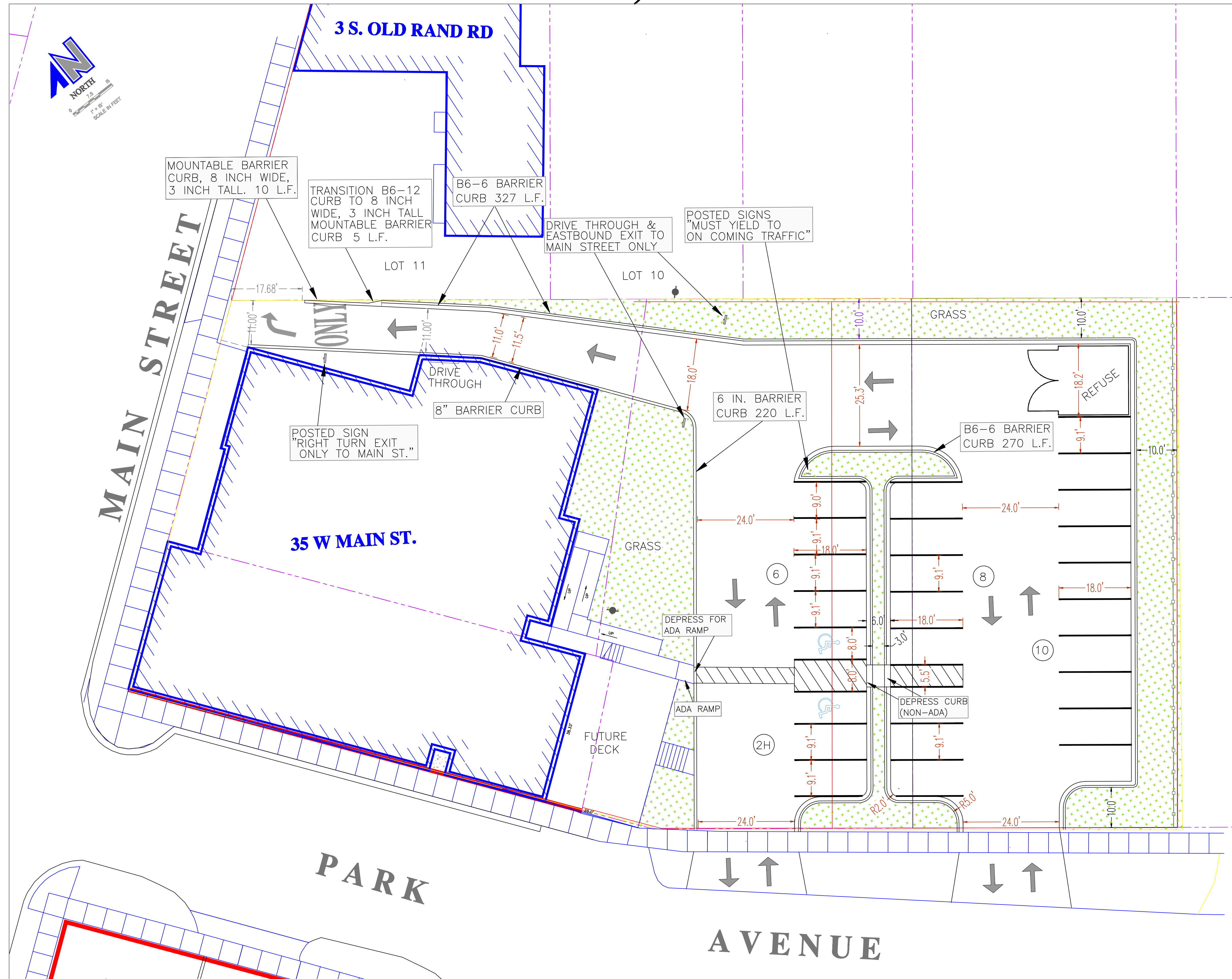
CIVIL ENGINEER: Dan Grecco  
1042 Maple Ave, Suite 130  
Lake IL 60032  
630-745-0524  
dgrecco@aaim.com

SCALE: AS SHOWN

SHEET: C4

Date: JUN 25, 2020

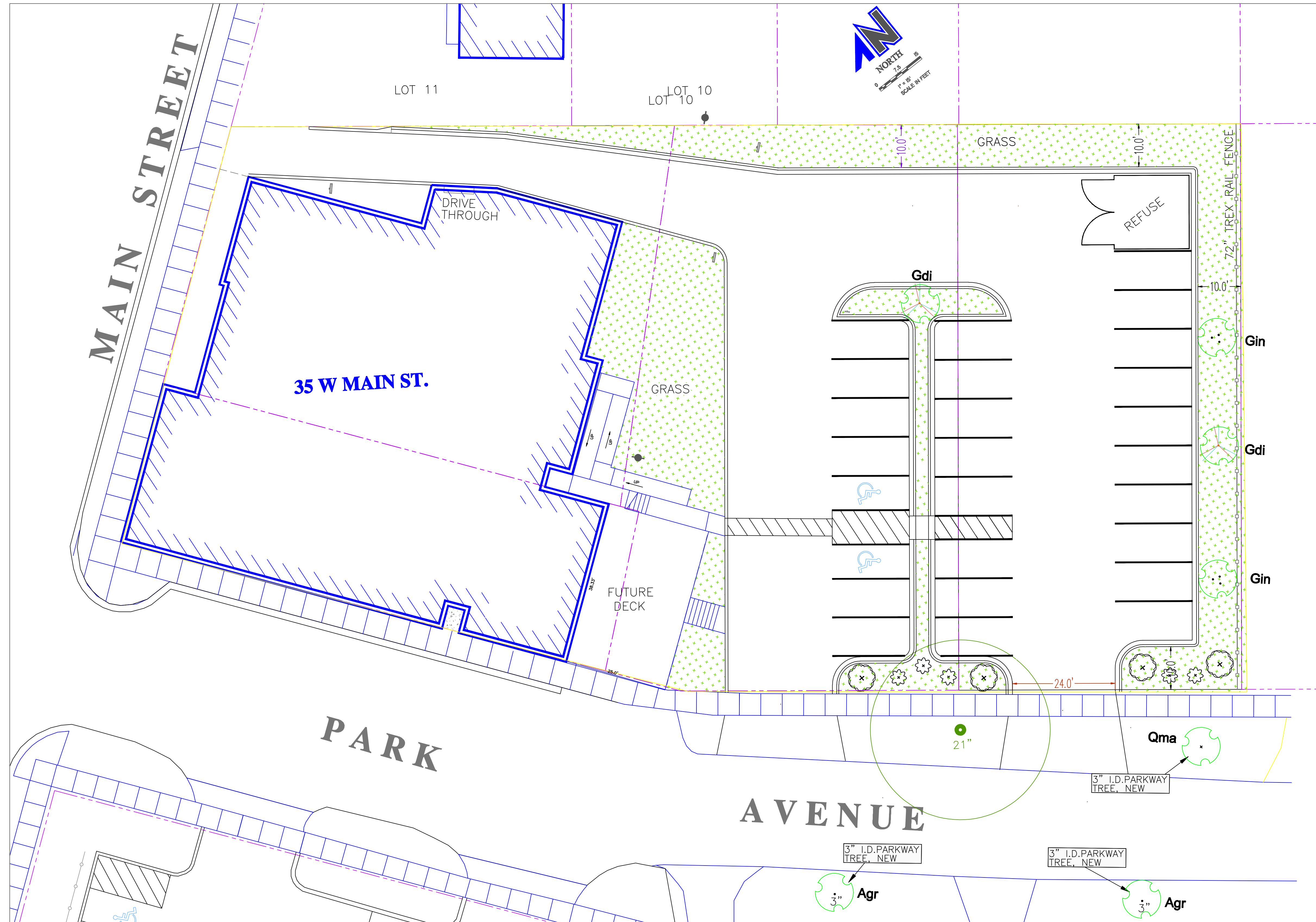
# GEOMETRIC SITE PLAN - DRIVE THROUGH AND NEW PARKING LOT 35 WEST MAIN STREET, LAKE ZURICH IL 60047



OWNER: CHIDASE & DAVID MALIN Yela Corita LLC 584 N. Old Rand Road Lake Zurich, IL 60047 773-251-9988 dm3483@icloud.com		SHEET: C5	
ARCHITECT: JOE MEYER & ASSOCIATES 135 Park Avenue Barrington, IL 60010 (847) 382-0200 meyer-wichman@beglobal.net		GEOMETRIC SITE PLAN	
CIVIL ENGINEER: DAN CRESCO 1042 Maple Ave, Suite 130 Lisle, IL 60532 630-745-0524 dgresco@aim.com		DATE: JUNE 25, 2020	
SCALE: AS SHOWN		SHEET: C5	

# LANDSCAPE PLAN - DRIVE THROUGH AND NEW PARKING LOT

## 35 WEST MAIN STREET, LAKE ZURICH IL 60047



PLANT SCHEDULE				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
○ One	Quercus macrocarpa	Bur Oak	3" cal. B & B	1
○ Agr	Amelanchier x Grandiflora	Apple Serviceberry	3" cal. B & B	2
○ Gdi	Gymnocladus dioica	Kentucky Coffeetree	3" cal. B & B	2
○ Gin	Cornus	Amur maple	3" cal. B & B	2
○ Tin	Taxus x media 'Tauntoni'	Tauntoni Yew	30" B & B	4
○ Pno	Conocarpus Verticillata	Moonbeam Conocarpus	1 gal.	6

**Note:**  
 All proposed planting beds to be amended with 3" Organic Compost, with spaced edge.  
 All planting beds to be covered with 3" layer of Premium Hardwood Mulch, with spaced edge.  
 Contractor to guarantee plant material for one year from time of planting.  
 Contractor encouraged to stake trees, as he will be responsible for plants remaining plumb until the end of the guarantee period.  
 Plant sizes listed are the minimum size required. Plants that do not meet these minimum requirements shall be rejected at the contractor's expense.  
 No Plant species or sizes shall be substituted without prior approval from the Engineer.  
 All plantings shall be watered thoroughly in the first 24 hours after planting. The Contractor shall ensure all air pockets have been removed around the root ball.  
 Contractor shall verify all material quantities on site.  
 Owner shall be responsible for maintenance of proposed Landscaping.  
 All plant material to be Northern Illinois Grown, and with the exception of low type Juniper, Groundcovers, and perennials be balled and burlaped "B & B" unless otherwise specified.  
 Plant Material to be grown in accordance to standards set by the American Association of Nurserymen.  
**Contractor's Seed Mix:**  
 30% Atlantic Kentucky Bluegrass  
 20% Baron Kentucky Bluegrass  
 20% Rio Annual Ryegrass  
 15% Darnley III Perennial Ryegrass  
 15% Epic Strong Creeping Red Fescue

**LANDSCAPE NOTE:**  
 Area of Turf Restoration estimated at approximately 5,000 square feet.  
 Watering bags to be included with all sapling trees proposed to be planted.  
 See Demolition sheet C3 for all proposed tree removals.

SHEET: C6

LANDSCAPE PLAN

35 W. MAIN ST  
LAKE ZURICH, IL

OWNERS: Ghidarese & David Malin  
 Yola Curia LLC  
 584 N. Old Rand Road  
 Lake Zurich, IL 60047  
 773-251-9988  
 dm3483@icloud.com

ARCHITECT: Joe Meyers & Associates  
 135 Park Avenue  
 Barrington, IL 60010  
 (847) 382-0200  
 meyer-wichman@ebglobal.net

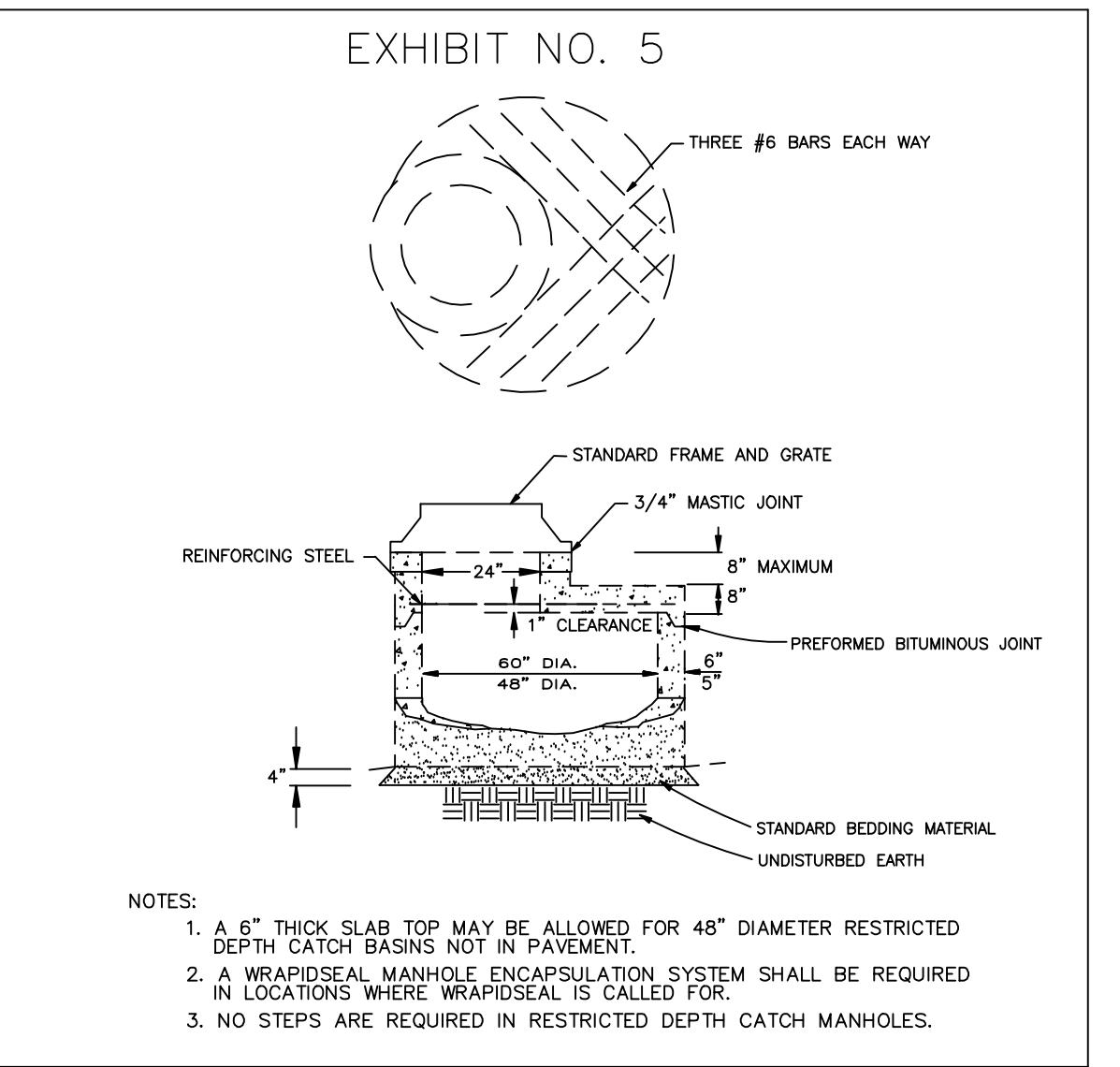
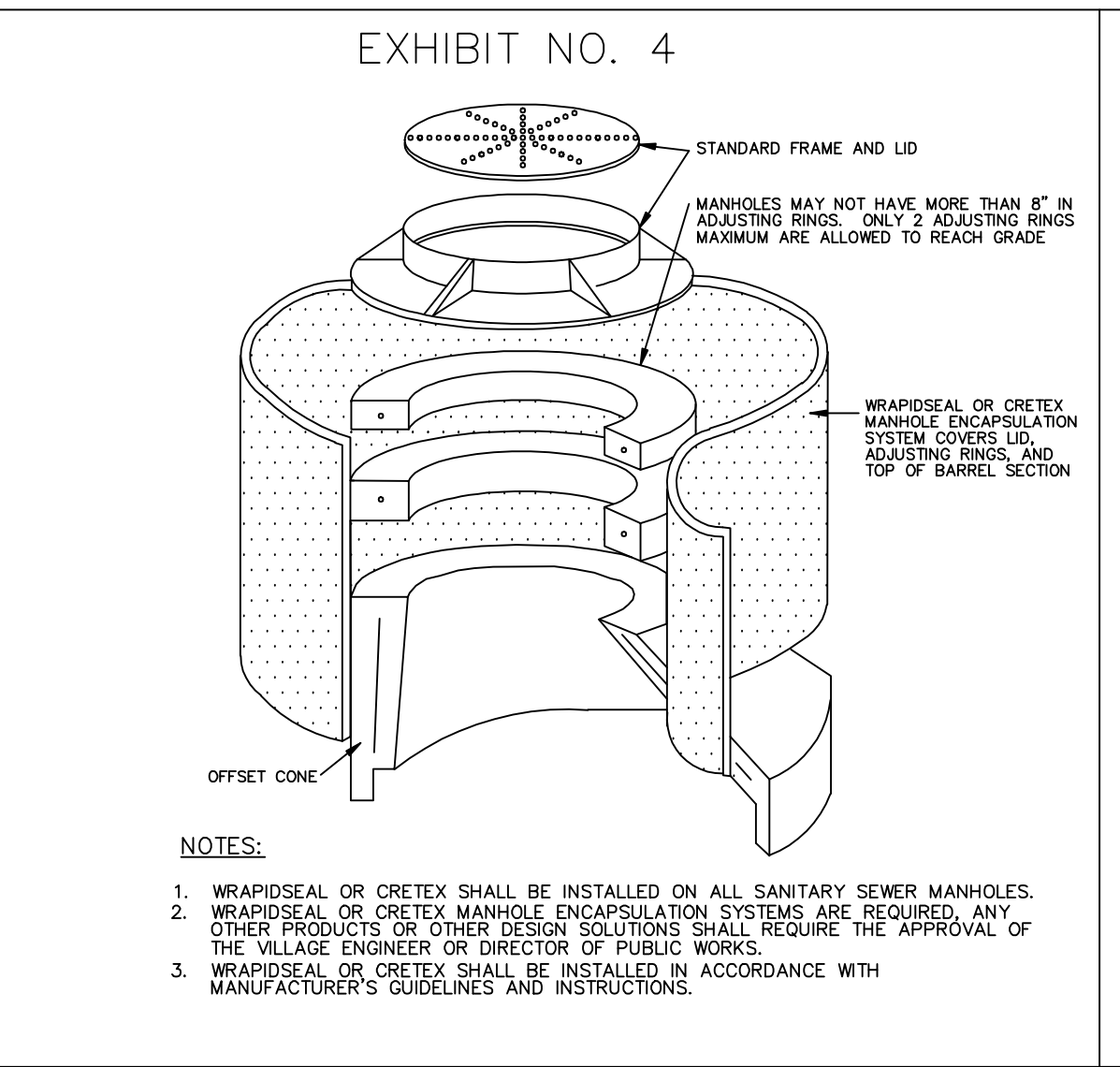
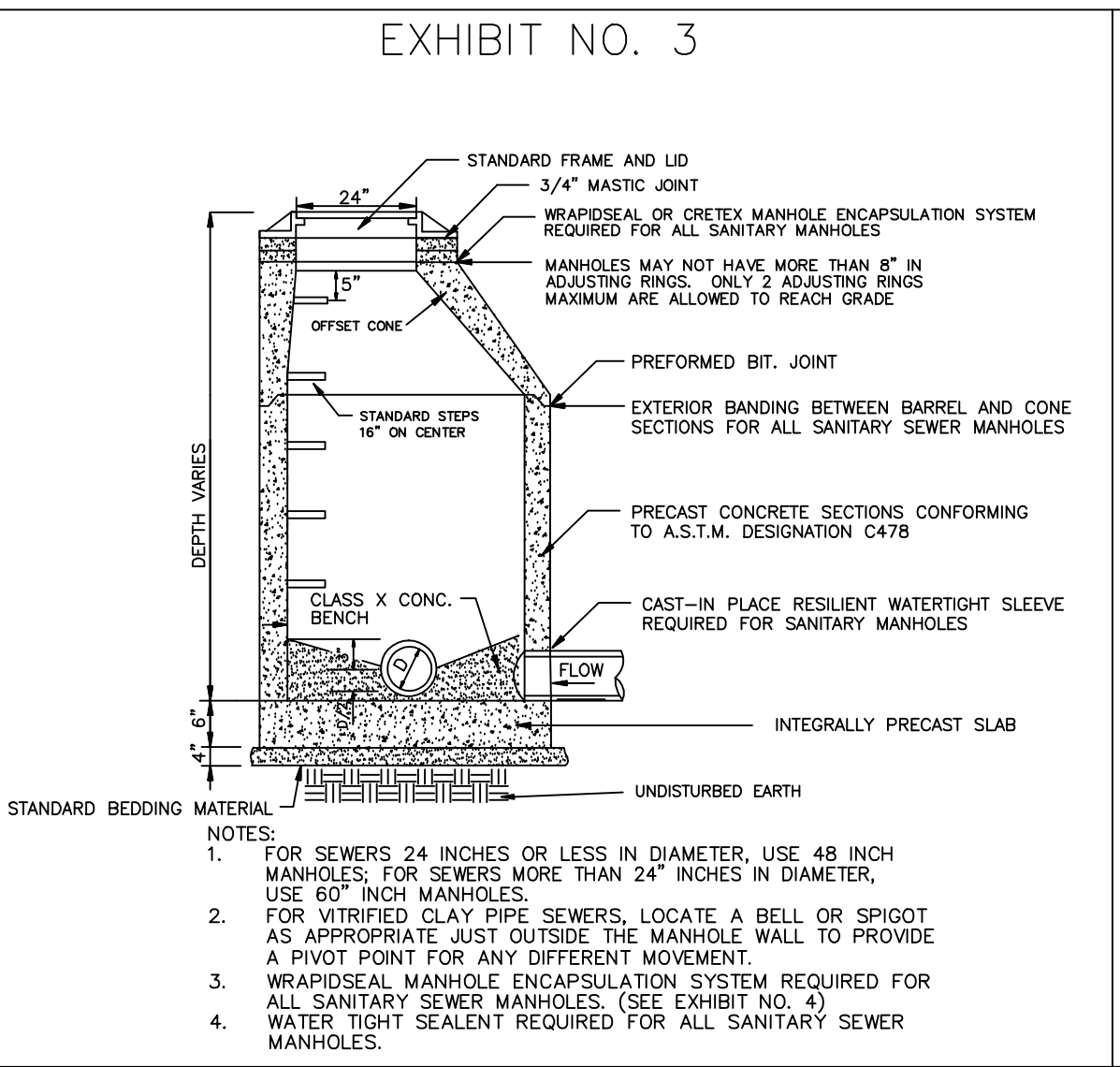
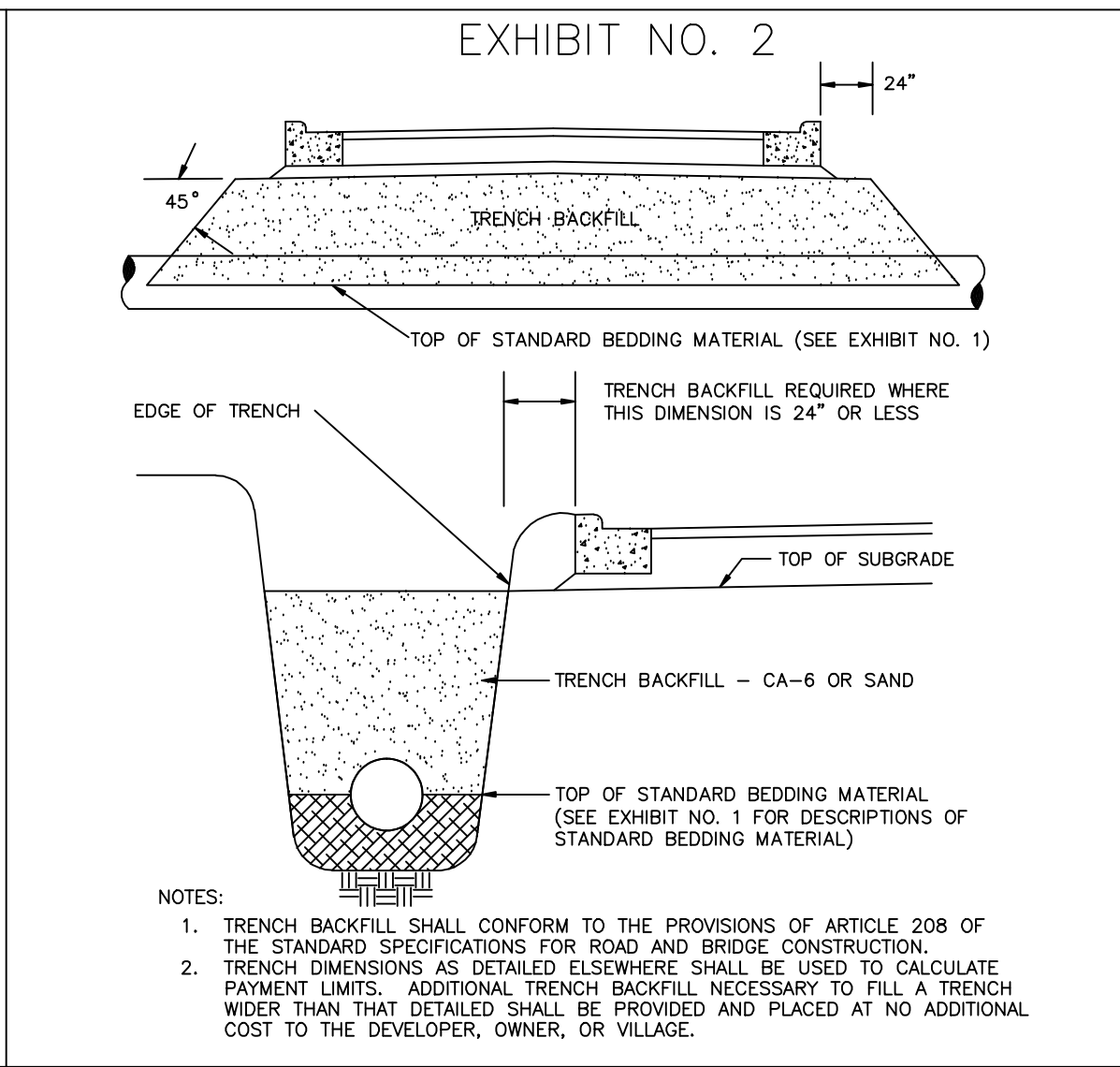
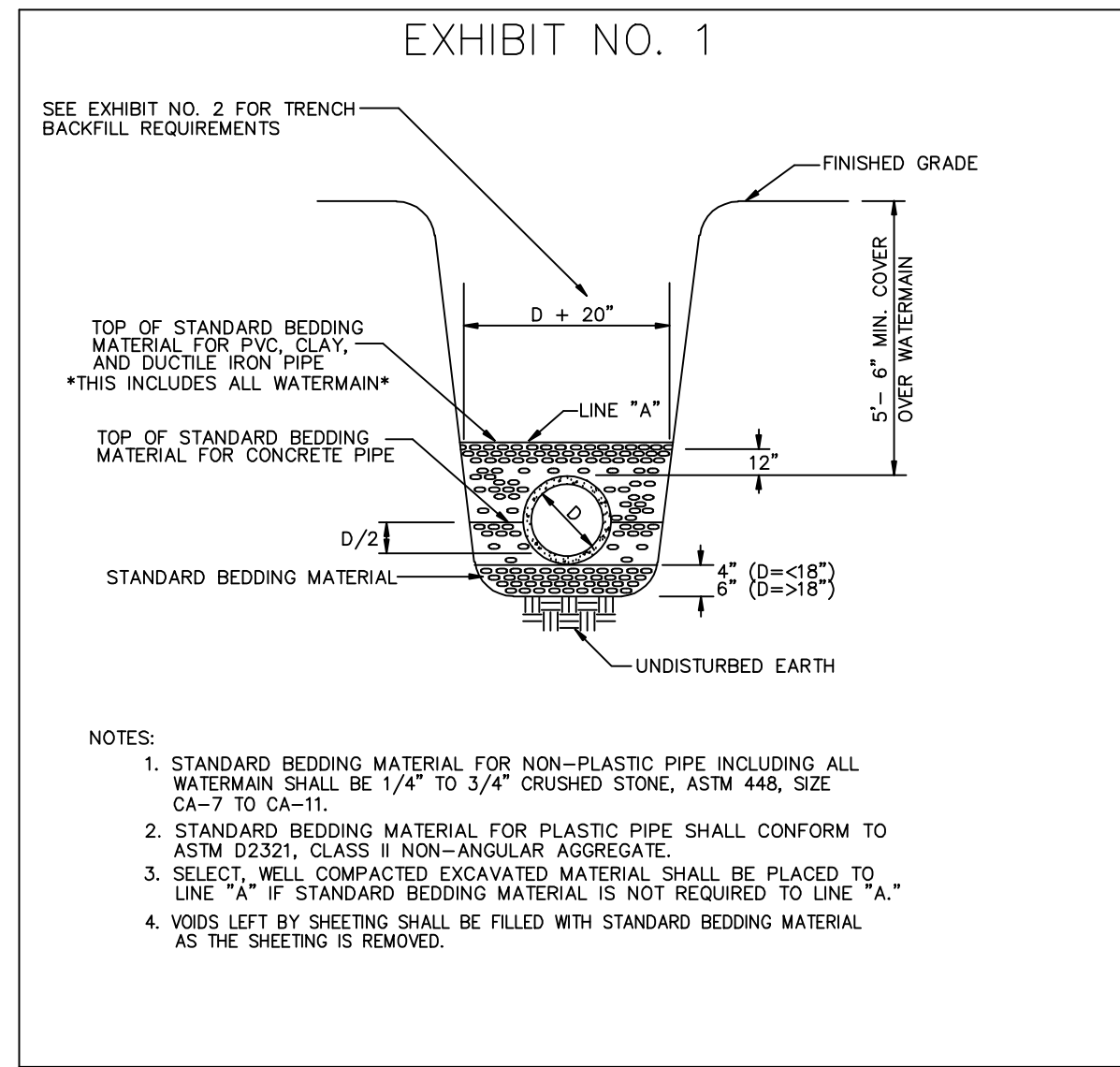
CIVIL ENGINEER: Dan Grecco  
 1042 Maple Ave, Suite 130  
 Lake IL 60032  
 630-745-0524  
 dgrecco@aem.com

SCALE: AS SHOWN

SHEET: C6

Date: JUN 25, 2020

NOTE: DETAILS ARE NOT TO BE CHANGED IN ANY WAY. LEAVE ALL DETAILS ON SHEET EVEN IF THEY DO NOT APPLY TO CURRENT IMPROVEMENTS. CHANGING OF DETAILS DOES NOT CHANGE REQUIREMENTS.



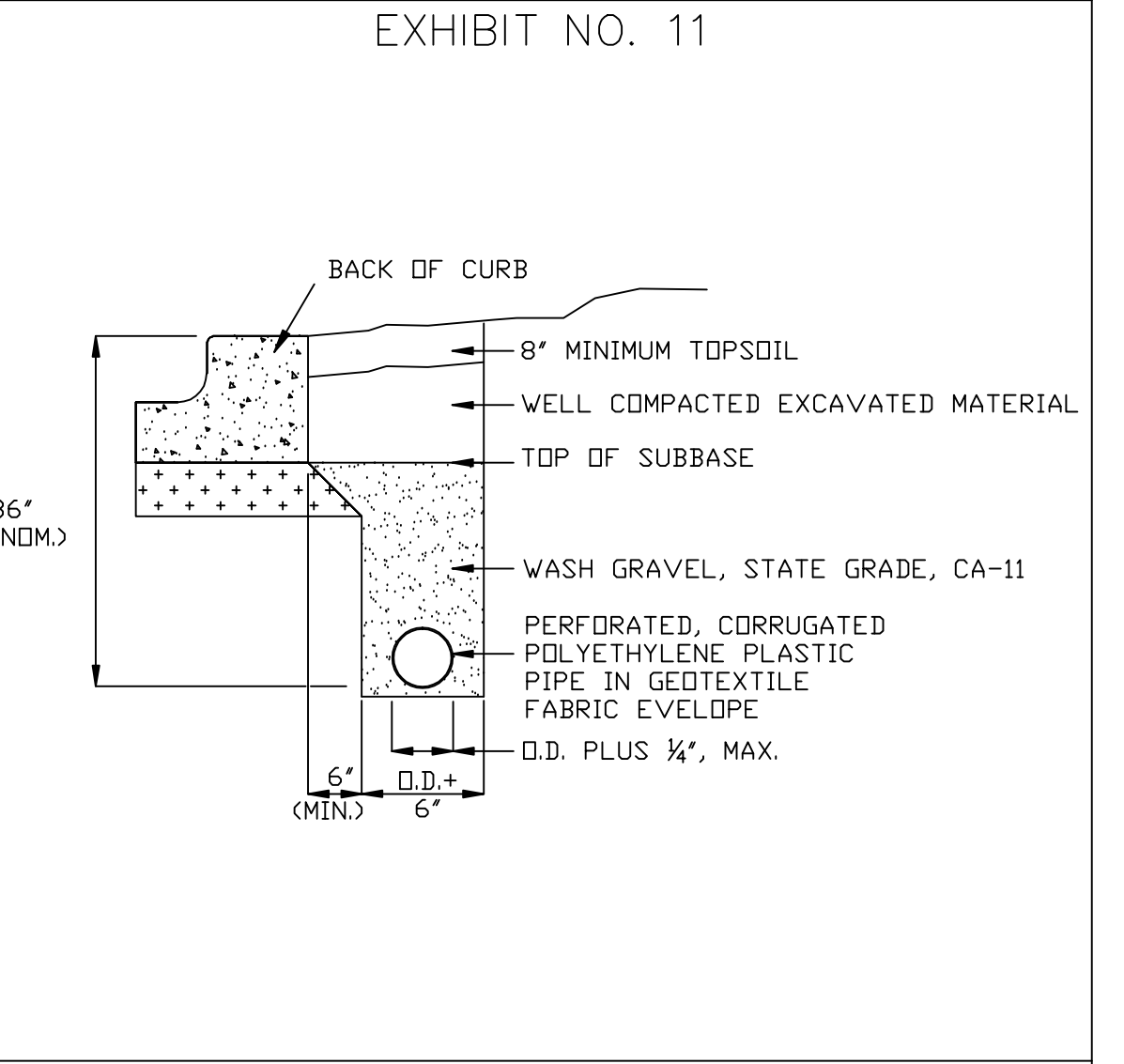
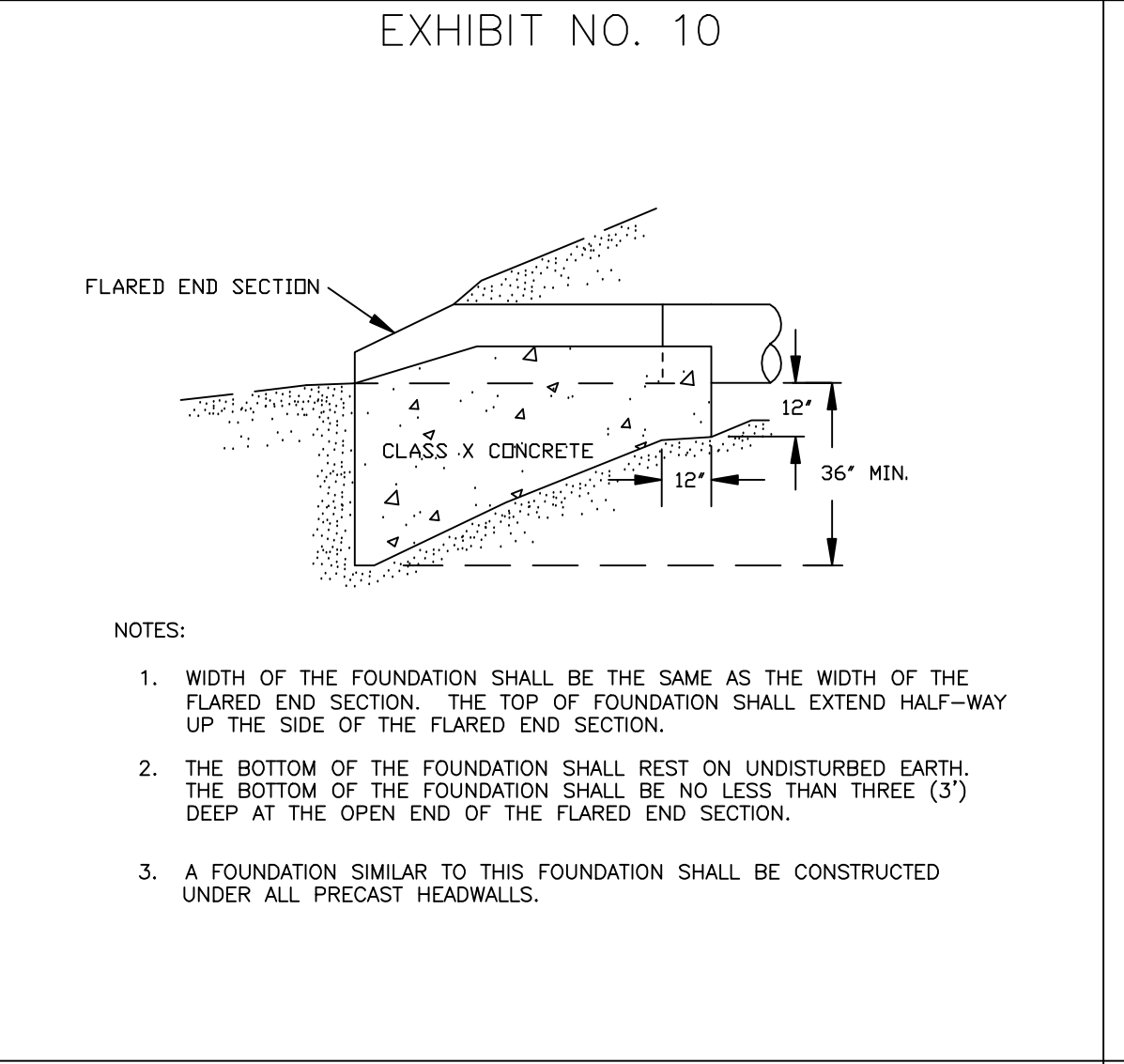
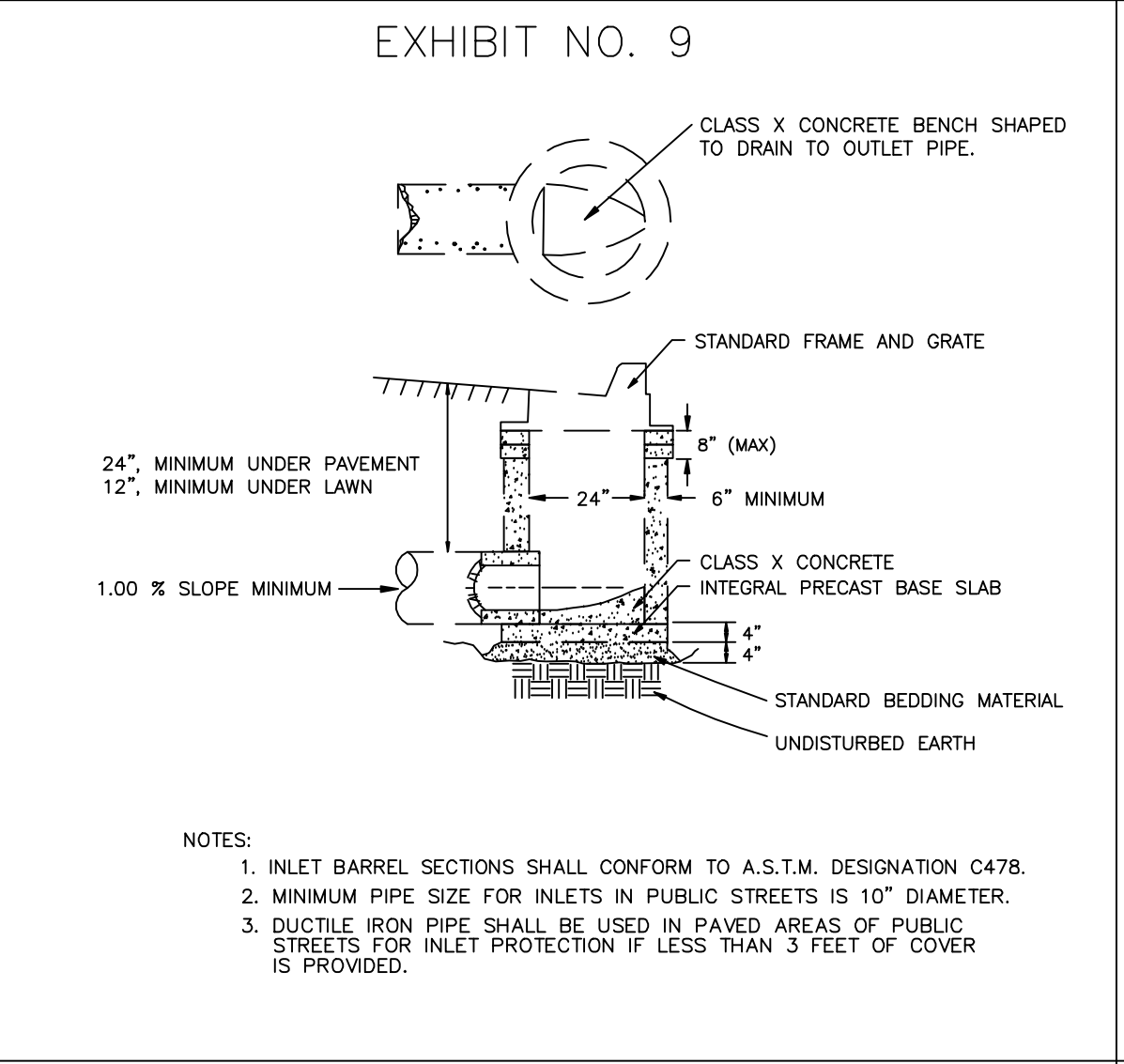
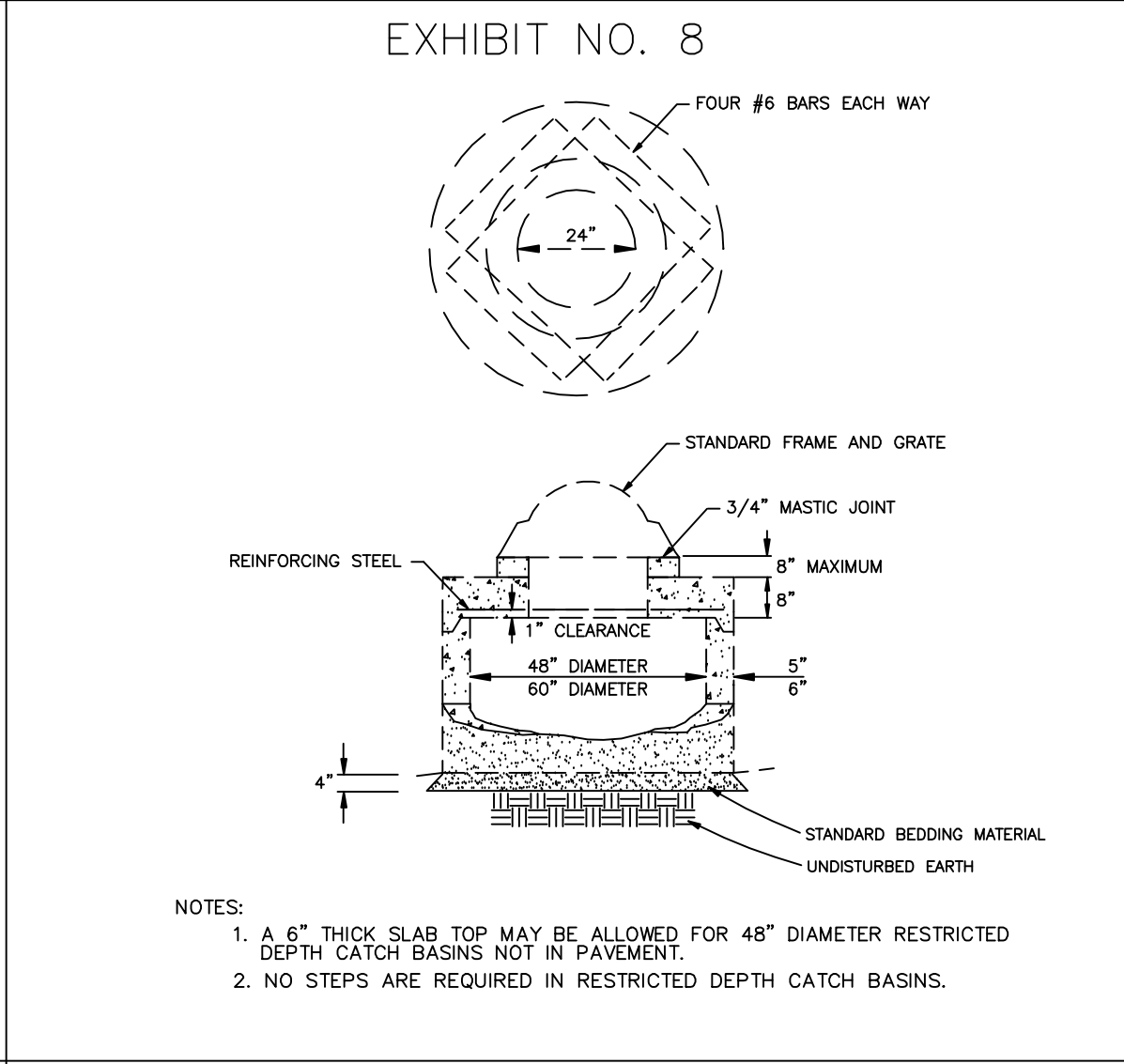
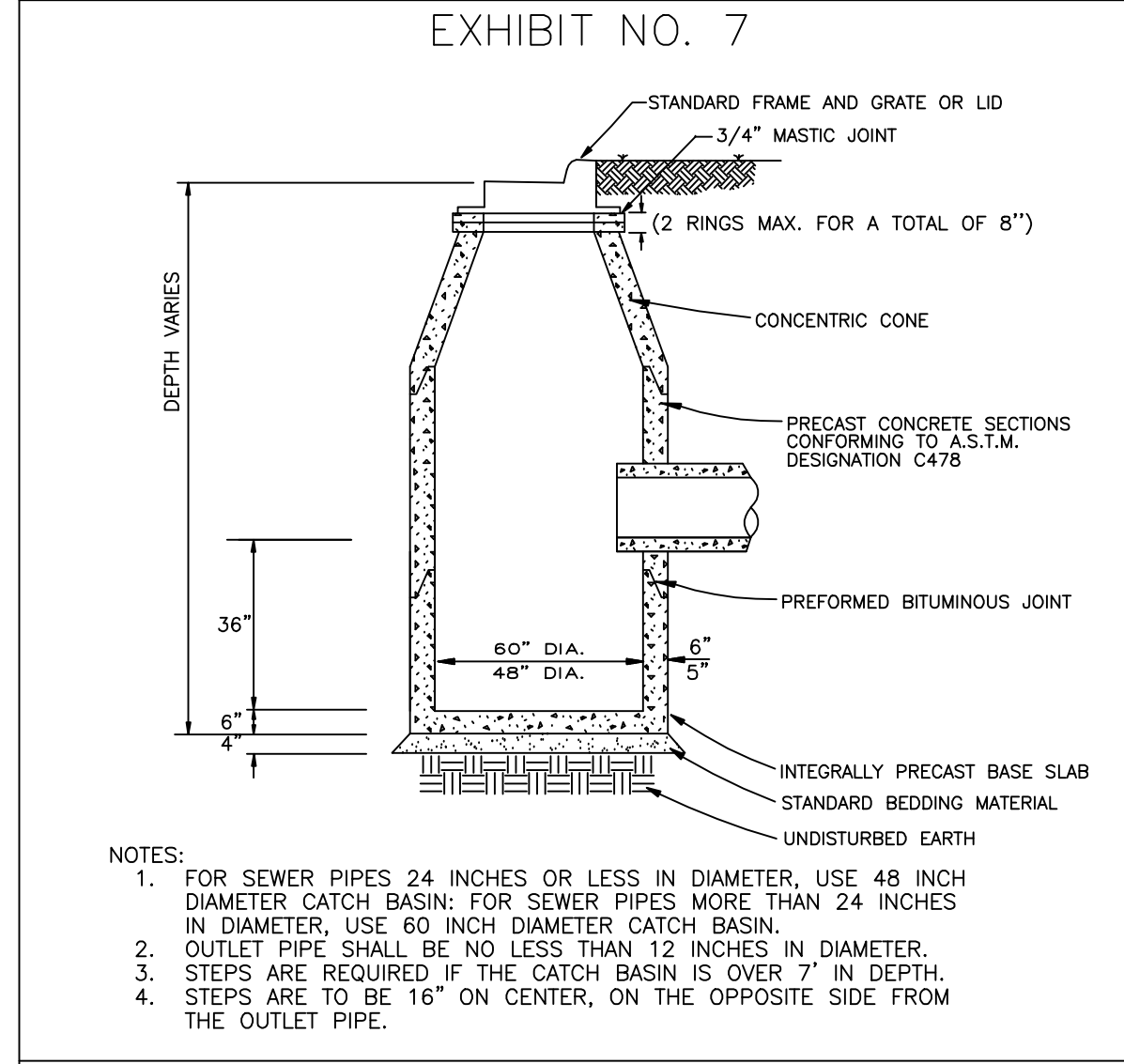
TYPICAL TRENCH AND STANDARD BEDDING

TRENCH BACKFILL

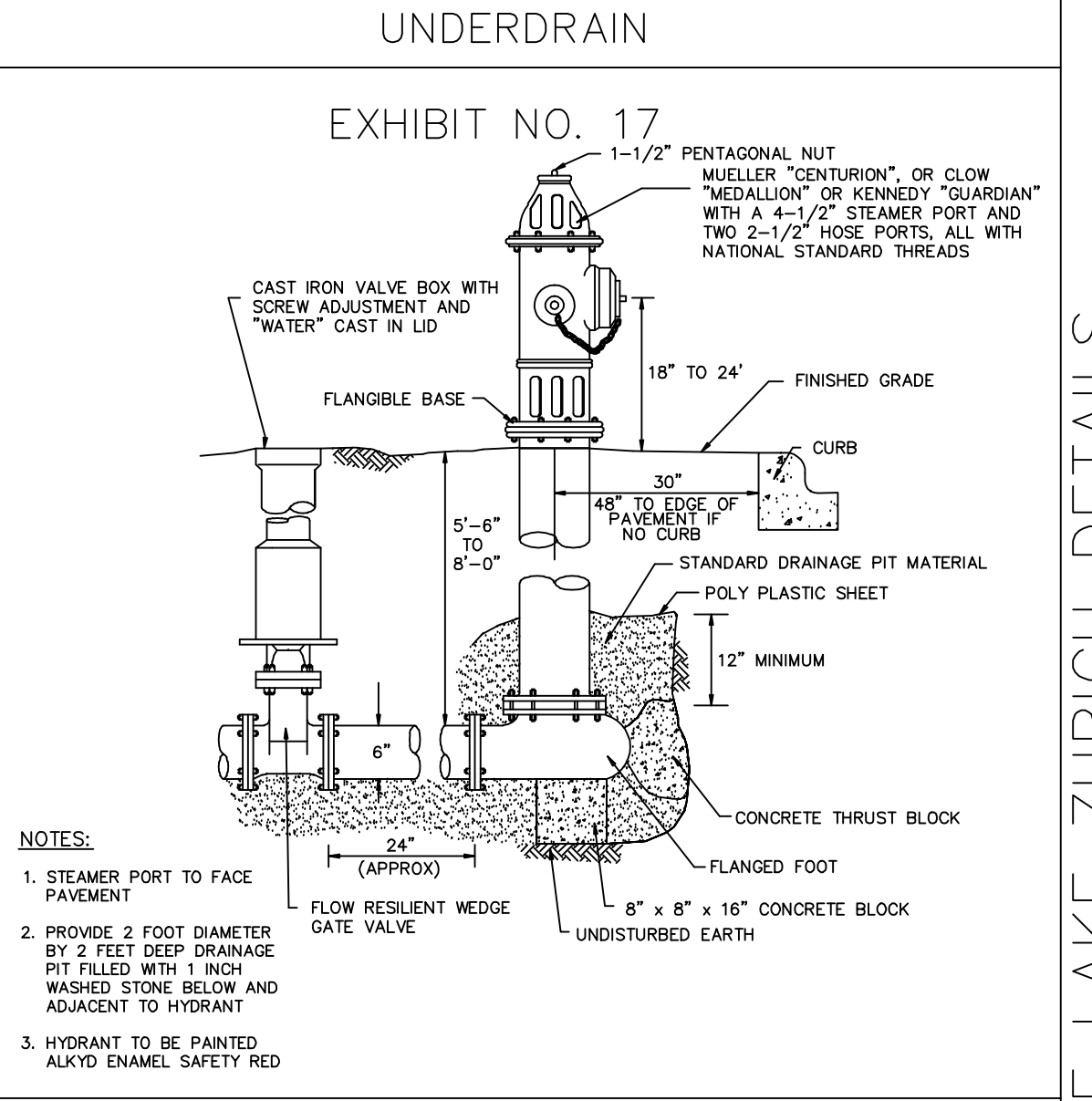
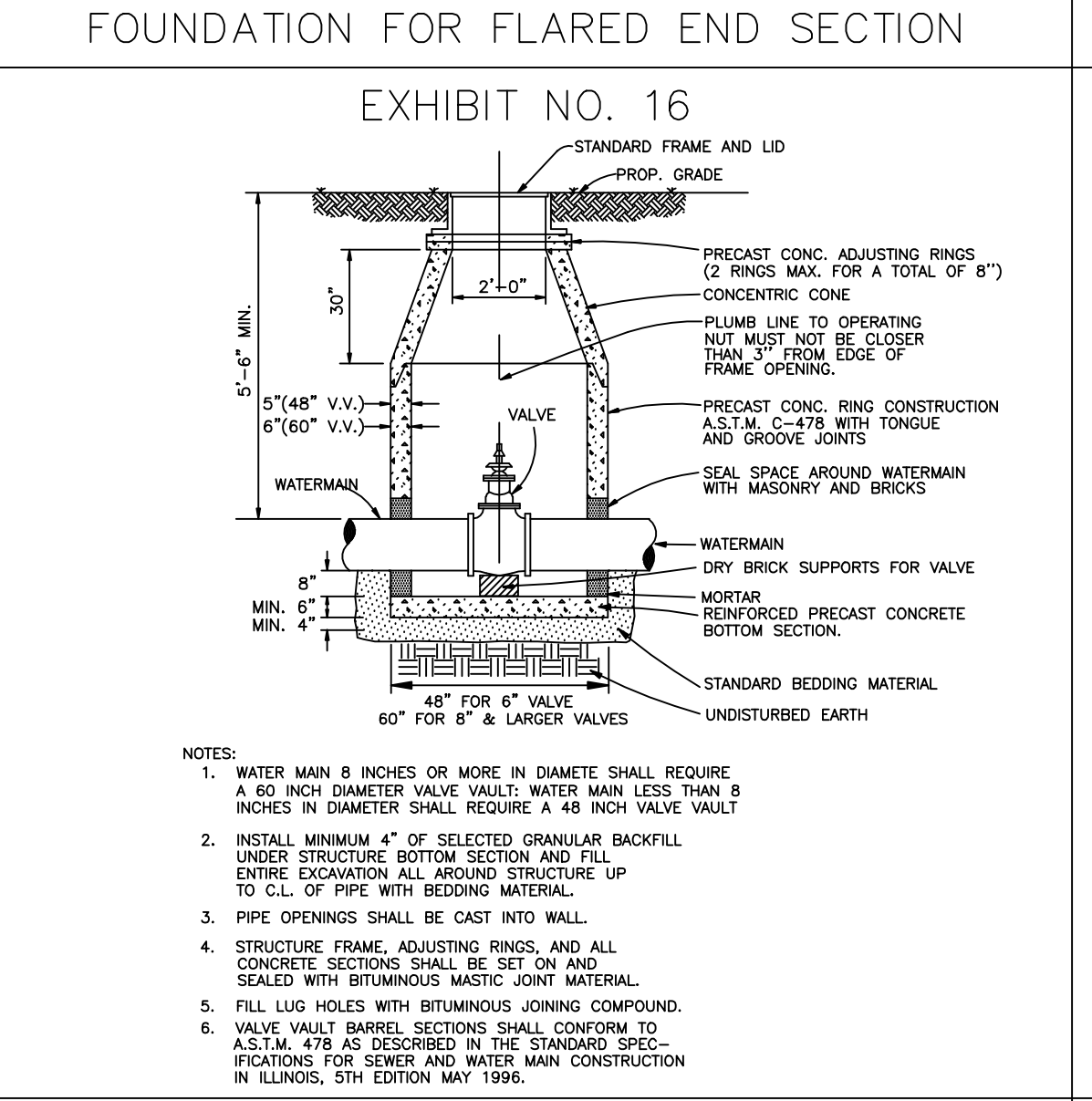
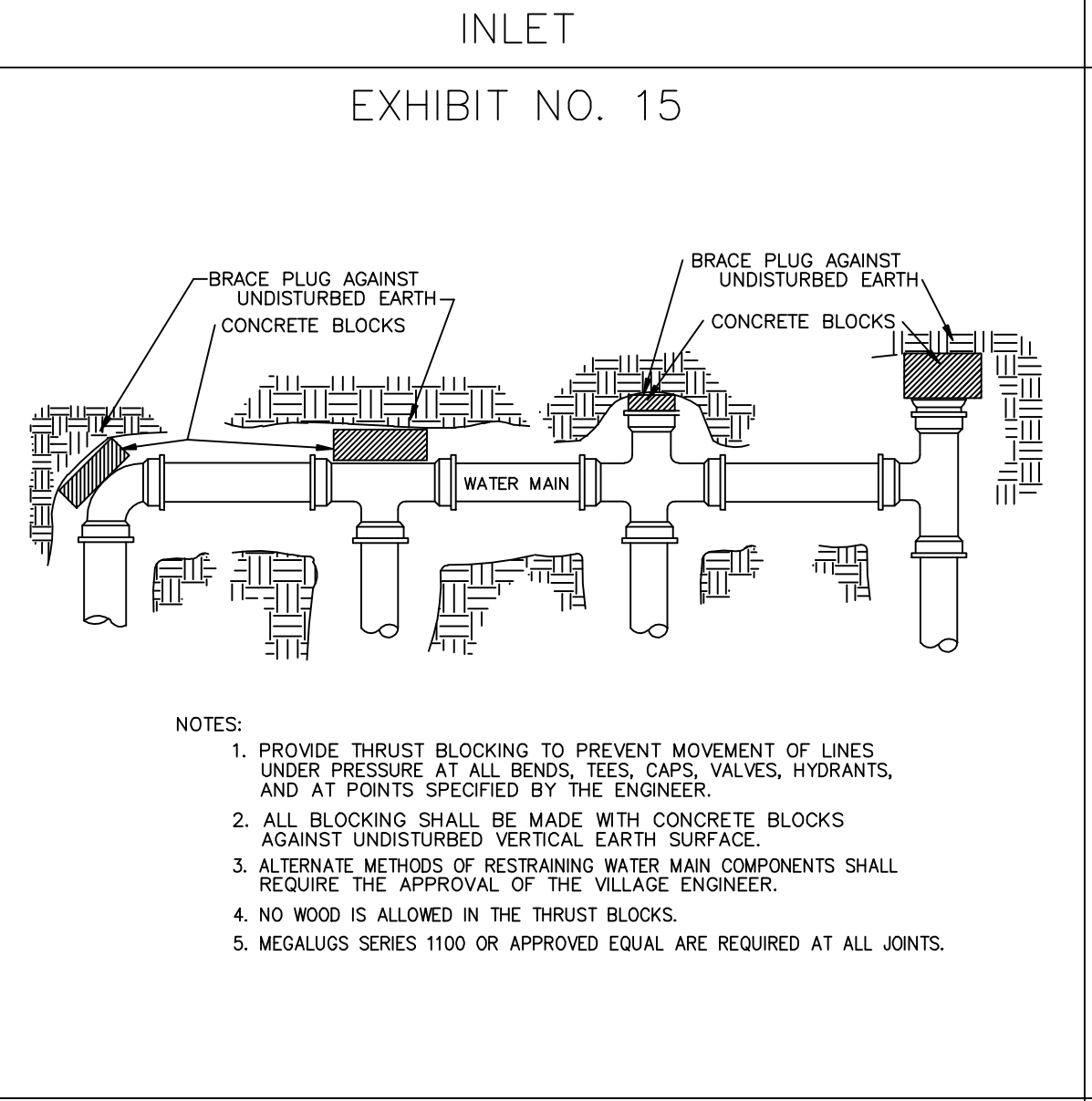
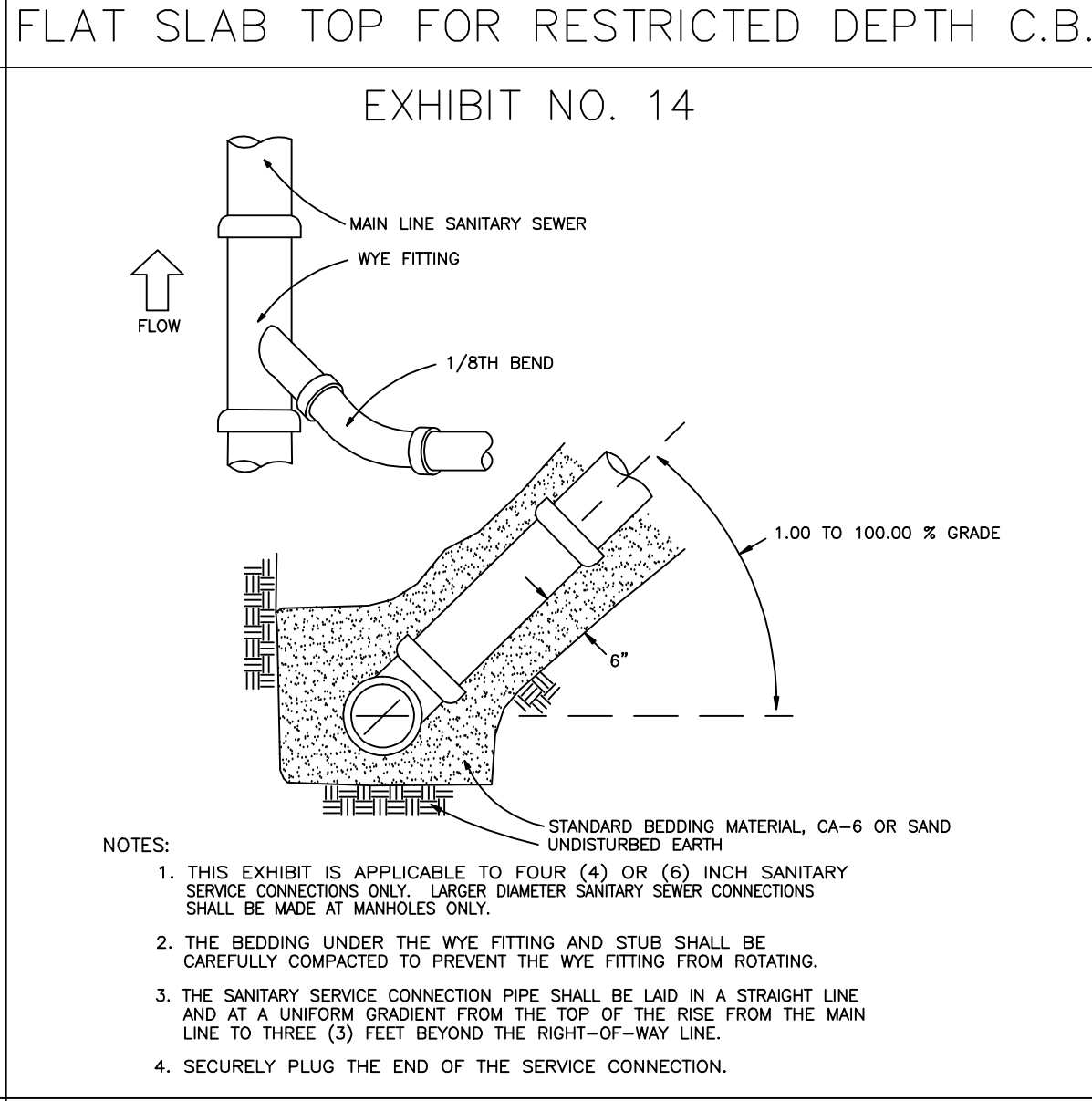
STANDARD MANHOLE

WRAPIDSEAL MANHOLE ENCAPSULATION SYSTEM

FLAT TOP FOR RESTRICTED DEPTH MANHOLE



STREET	PAVEMENT DESIGN
MAJOR	4" GRANULAR SUB-BASE 9" BITUMINOUS AGGREGATE MIXTURE 2" BITUMINOUS BINDER COURSE 2" BITUMINOUS SURFACE COURSE
COLLECTOR	3" GRANULAR SUB-BASE 6" BITUMINOUS AGGREGATE MIXTURE 2" BITUMINOUS BINDER COURSE 1 1/2" BITUMINOUS SURFACE COURSE
MINOR	3" AGGREGATE BASE COURSE 5" BITUMINOUS AGGREGATE MIXTURE 2" BITUMINOUS BINDER COURSE 1 1/2" BITUMINOUS SURFACE COURSE
CUL-DE-SAC	SAME AS MINOR
MARGINAL ACCESS	SAME AS MINOR
IN BUSINESS AND INDUSTRIAL DISTRICTS	3" GRANULAR SUB-BASE 5" BITUMINOUS AGGREGATE MIXTURE 3" BITUMINOUS CONCRETE



MINIMUM STANDARDS FOR STREET DESIGN

SANITARY SERVICE CONNECTION

THRUST BLOCK

VALVE VAULT

FIRE HYDRANT

VILLAGE OF LAKE ZURICH  
70 EAST MAIN STREET  
LAKE ZURICH, IL 60047  
(847) 540-1694

REVISIONS

VILLAGE OF LAKE ZURICH DETAILS SHEET 1

PROJECT NO.	DETAILS	SHEET
DATE	1/10/03	1
SCALE	NTS	1
DESIGNED BY	DESIGN	3
DRAWN BY	DTM	
CHECKED BY	EL	

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SHEET: C8

35 W. MAIN ST  
LAKE ZURICH, IL

DETAIL SHEET  
1 OF 3

OWNERS: Cundare & David Main  
Vela Carina LLC  
594 N. Old Rand Road  
Lake Zurich, IL 60047  
779-251-9966  
cundarem@gmail.com  
dm348@icloud.com

ARCHITECT: Joe Meyers & Associates  
135 Park Avenue  
Barrington, IL 60010  
(847) 382-0200  
meyers-wichman@ebgtohal.net

CIVIL ENGINEER: Dan Grecco  
1042 Maple Ave, Suite 130  
Lisle, IL 60532  
630-745-0524  
dgrecco@itm.com

SCALE: AS SHOWN

SHEET: C8

Date: JUN 25, 2020

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**EXHIBIT NO. 13**  
**THESE STANDARDS SUPERCEDE ALL OTHER STANDARDS**  
 LAKE ZURICH UTILITY MATERIAL STANDARDS

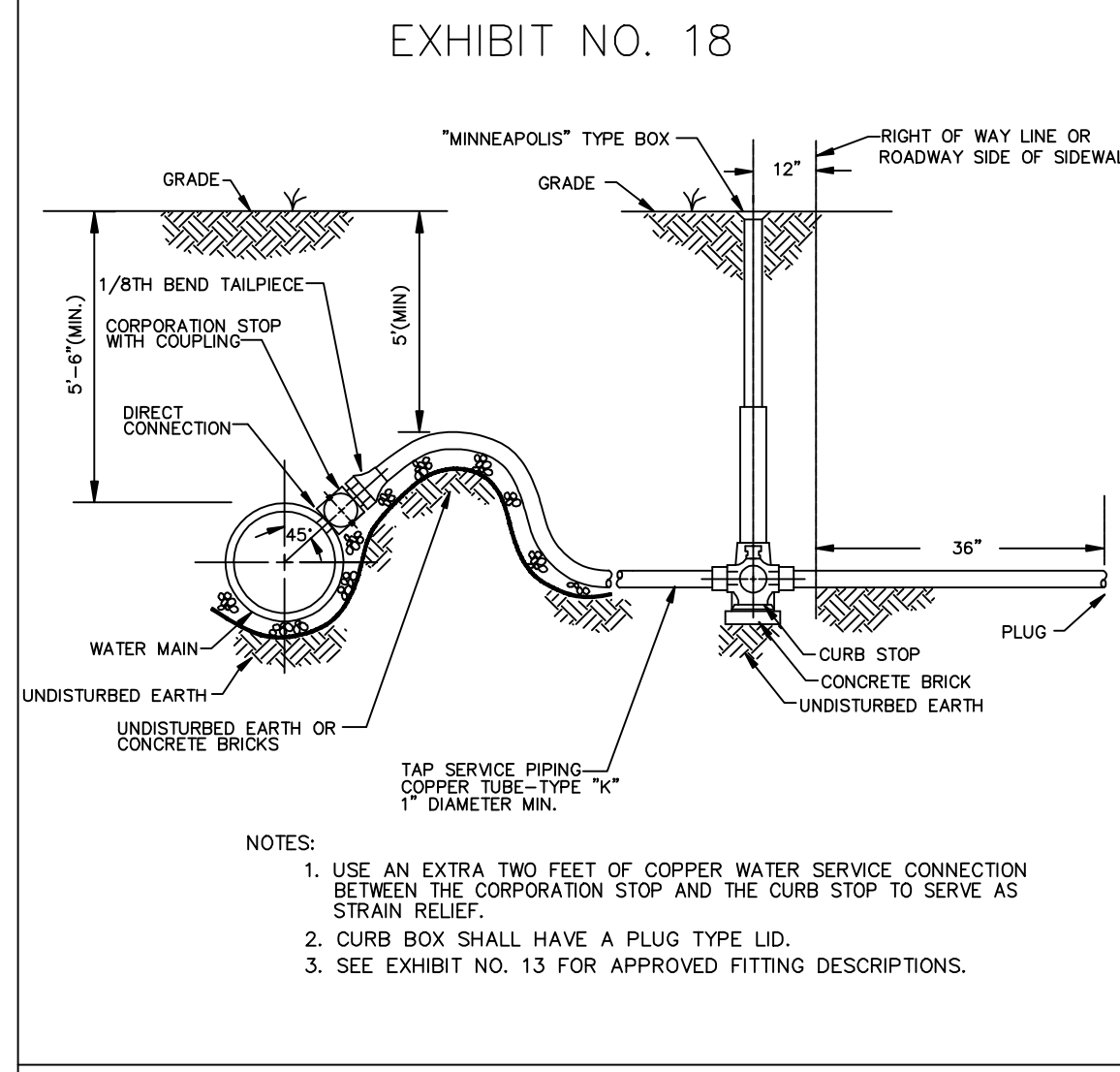
**SANITARY SEWER**  
 Pipe: PVC, SDR - 26, meeting requirements of ASTM - 3034  
 Gasketed Joint / Cell Classification 12454 - B  
 Depth over 15 feet - SDR 12 or 18  
 Service Laterals: PVC SCH 40 or better, SDR 35 or 26  
 1/4" to 3/4" crushed stone, size CA-7 to CA-11, 12" over the top of pipe  
 Pre-Cast Concrete with Bench and Rubber Boots  
 Cast Iron Frames and Lids: Neenoh Type 1 self-sealing Marked "Sanitary Sewer"  
 WrapSeal Manhole Encapsulation System is required on all sanitary manholes  
 Contractor shall be qualified by manufacturer's rep. to install WrapSeal  
 Exterior banding between barrel and cone sections is required  
 Manhole must be water tight and sealed from the outside  
 Fiberglass steps

**Casing**  
 The casing must be ductile iron or steel  
 Manufactured pipe chocks must be used between the pipe and casing  
 Pea gravel must be pitted through the casing, with concrete mortar on the ends  
 Casing to be installed as required by the "Standard Specifications for Water and Sewer Construction in Illinois" 5th Edition, 1996, with all services considered as mains  
 If PVC pipe (C900) is used, #6 solid copper tracing wire is required for locating purposes

**FORCEMAIN**  
 Fire Hydrants: Clow Medallon, 5 1/4" with Auxiliary Valve  
 Kennedy Guardon, 5 1/4" with Auxiliary Valve  
 Mueller Centurion 4 - 421 with Auxiliary Valve  
 5 1/4" three-way (2 hose nozzles and 1 pumper nozzle)  
 Painted Safety Red  
 Class 52 Ductile iron cement lined, Megalugs Series 1100 required at all fittings  
 Wrapping the watermain with polyethylene film is not permitted  
 1/4" to 3/4" crushed stone, size CA-7 to CA-11, 12" over the top of pipe  
 Casing: American Flow Control  
 Kennedy Resilient Wedge  
 American Flow Control AFC series 500 NRS  
 Resilient Wedge Valve U/D/M General  
 Mueller Resilient Wedge Valve  
 Non-Rising Stem, Mechanical Joint  
 Cast Iron Frames and Lids: Neenoh Type 1 self-sealing Marked "Water"  
 The casing must be ductile iron or steel  
 Manufactured pipe chocks must be used between the pipe and casing  
 Pea gravel must be pitted through the casing, with concrete mortar on the ends  
 Casing to be installed as required by the "Standard Specifications for Water and Sewer Construction in Illinois" 5th Edition, 1996, with all services considered as mains  
 Mueller H - 15000 - 1" Size  
 AY McDonald 4701  
 Mueller H-15154 - 1" Stop, Minneapolis Pattern  
 AY McDonald 6104  
 Mueller H - 10300 Upper section inside diameter 1 1/4"  
 Mueller H - 10302 Upper section inside diameter 1 1/2"  
 1" Type K Copper, or as specified by plumbing code  
 Double Banded Stainless Steel Tapping Sleeve with 1" corporation stop  
 All nuts and bolts below grade shall be stainless steel

**WATERMAIN INSTALLATION SPECIFICATIONS**

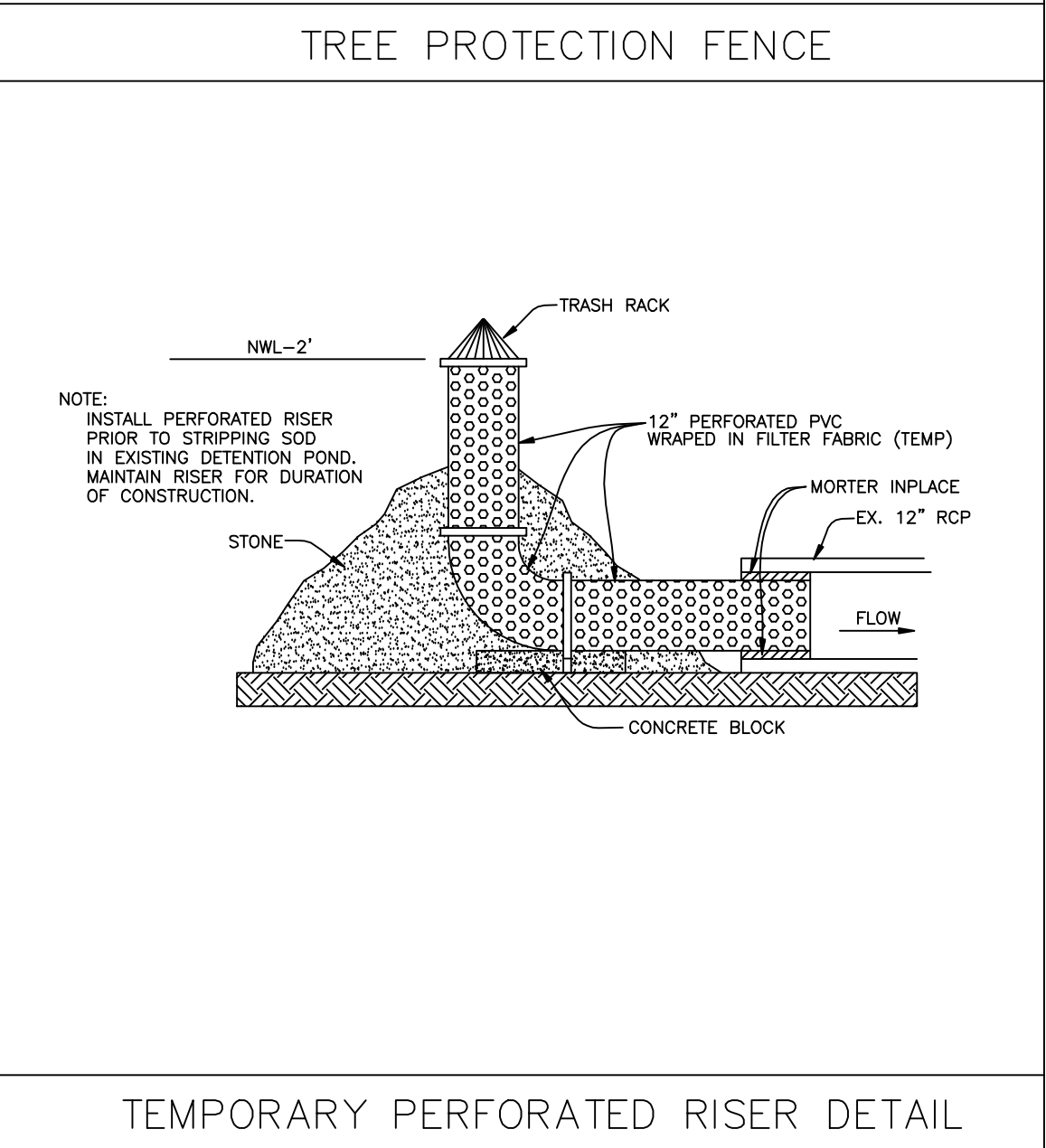
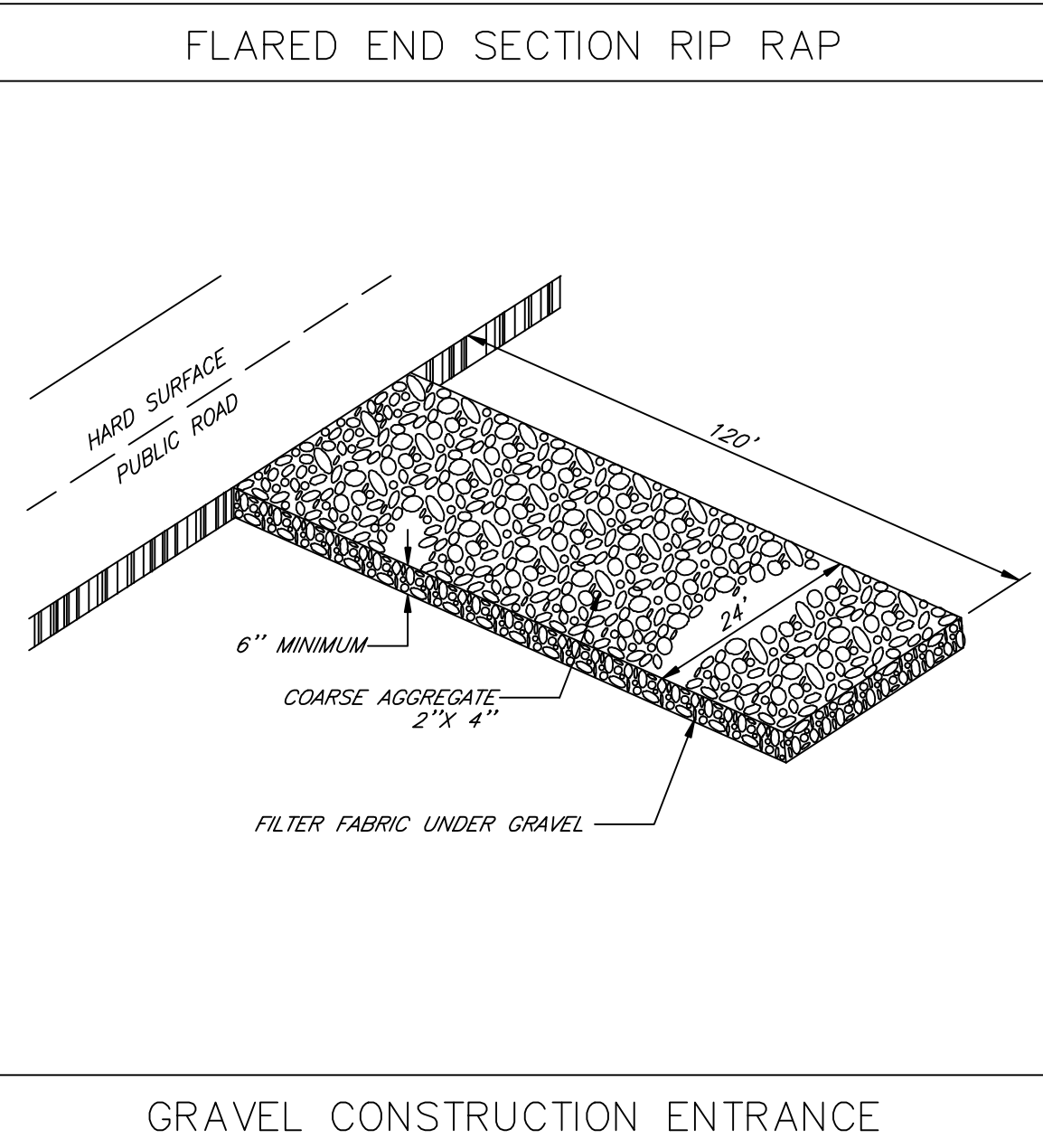
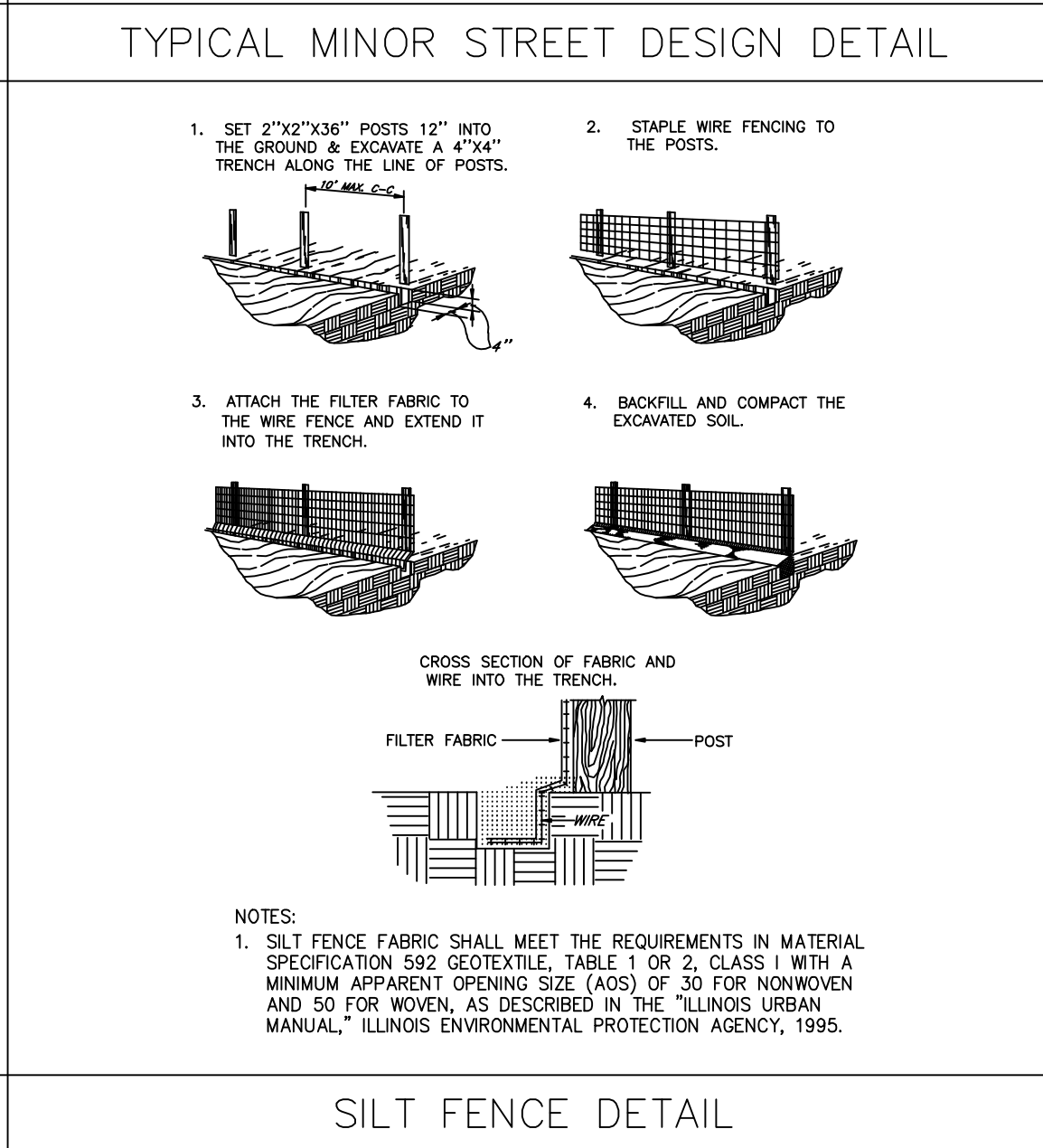
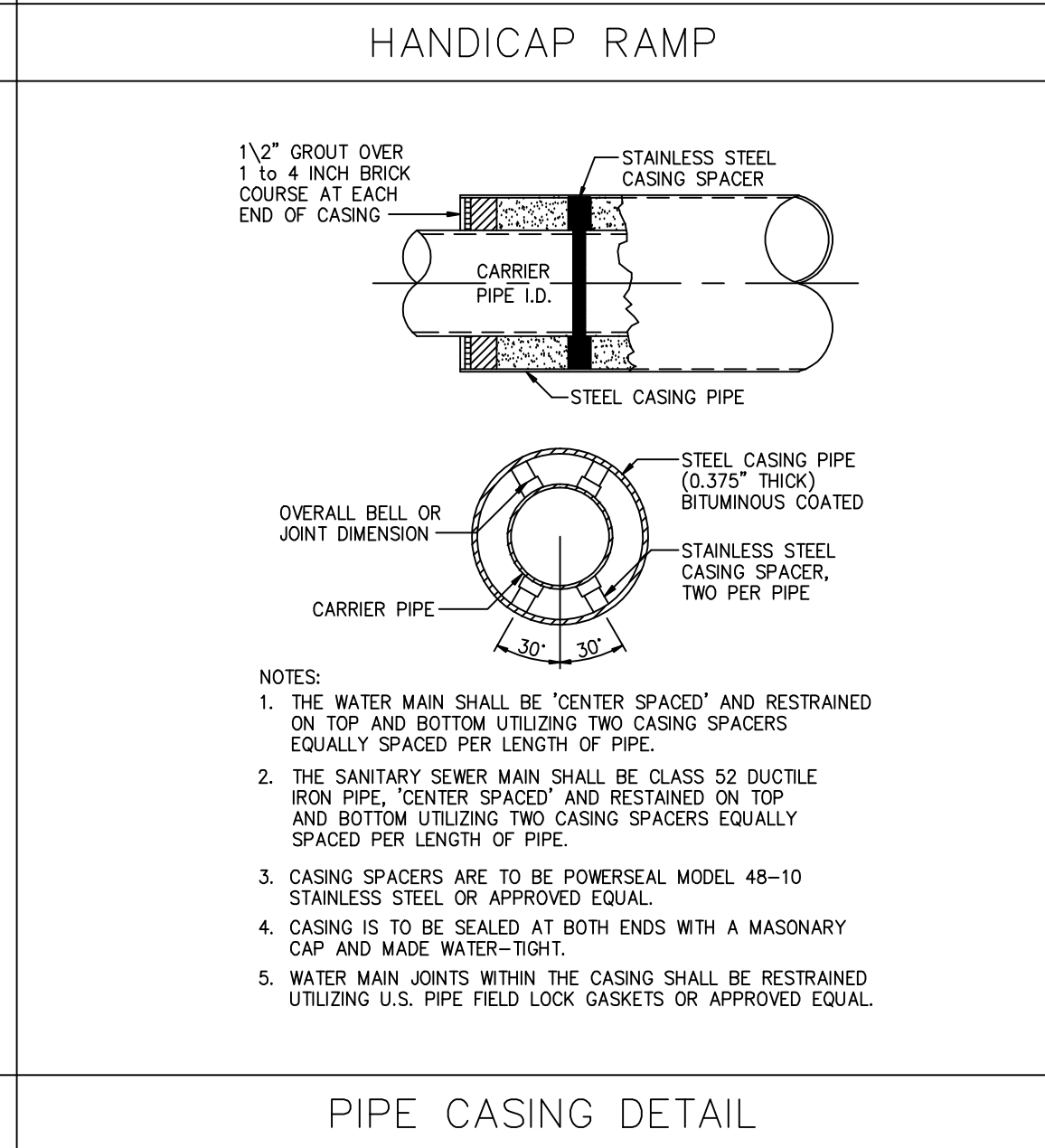
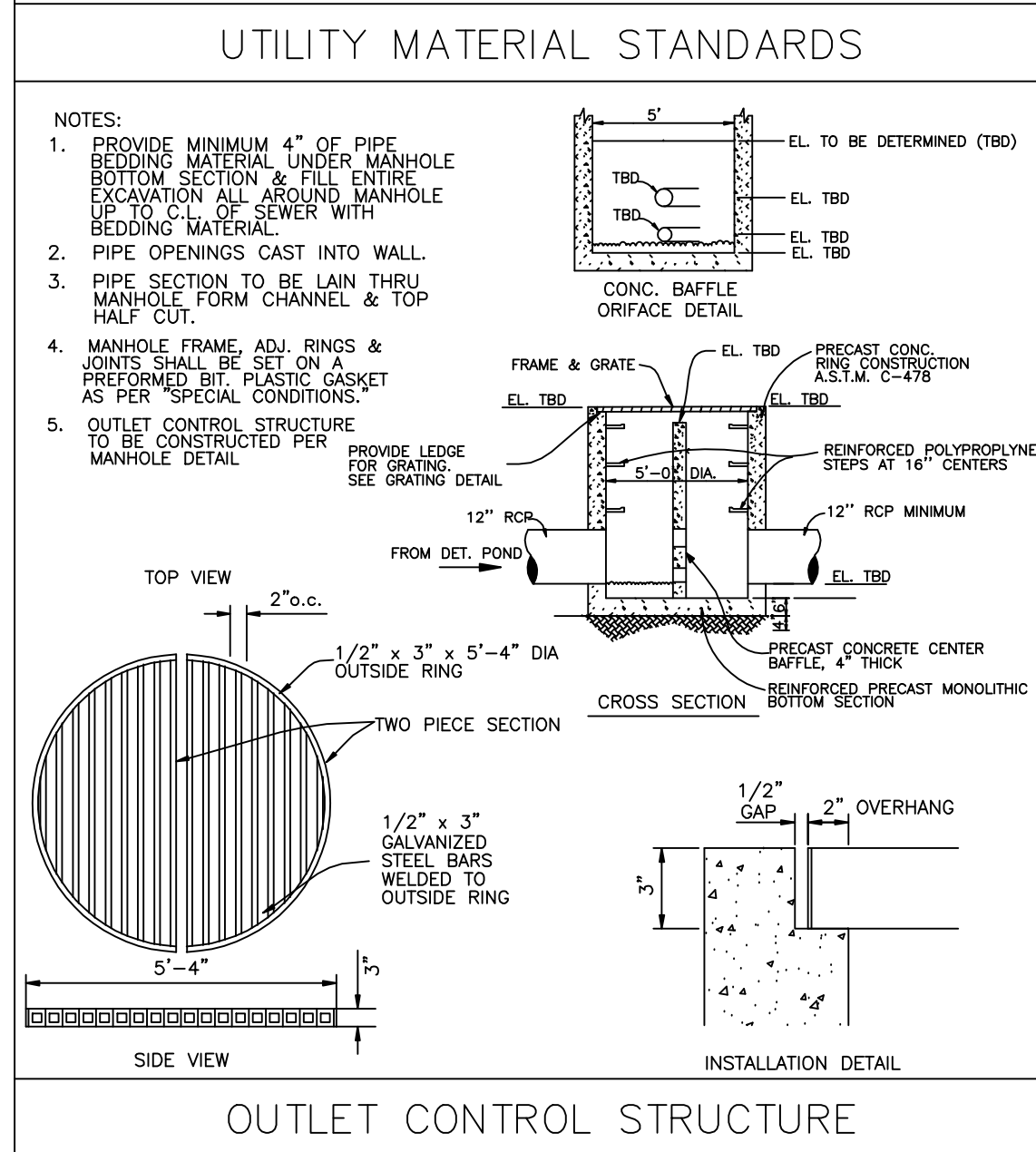
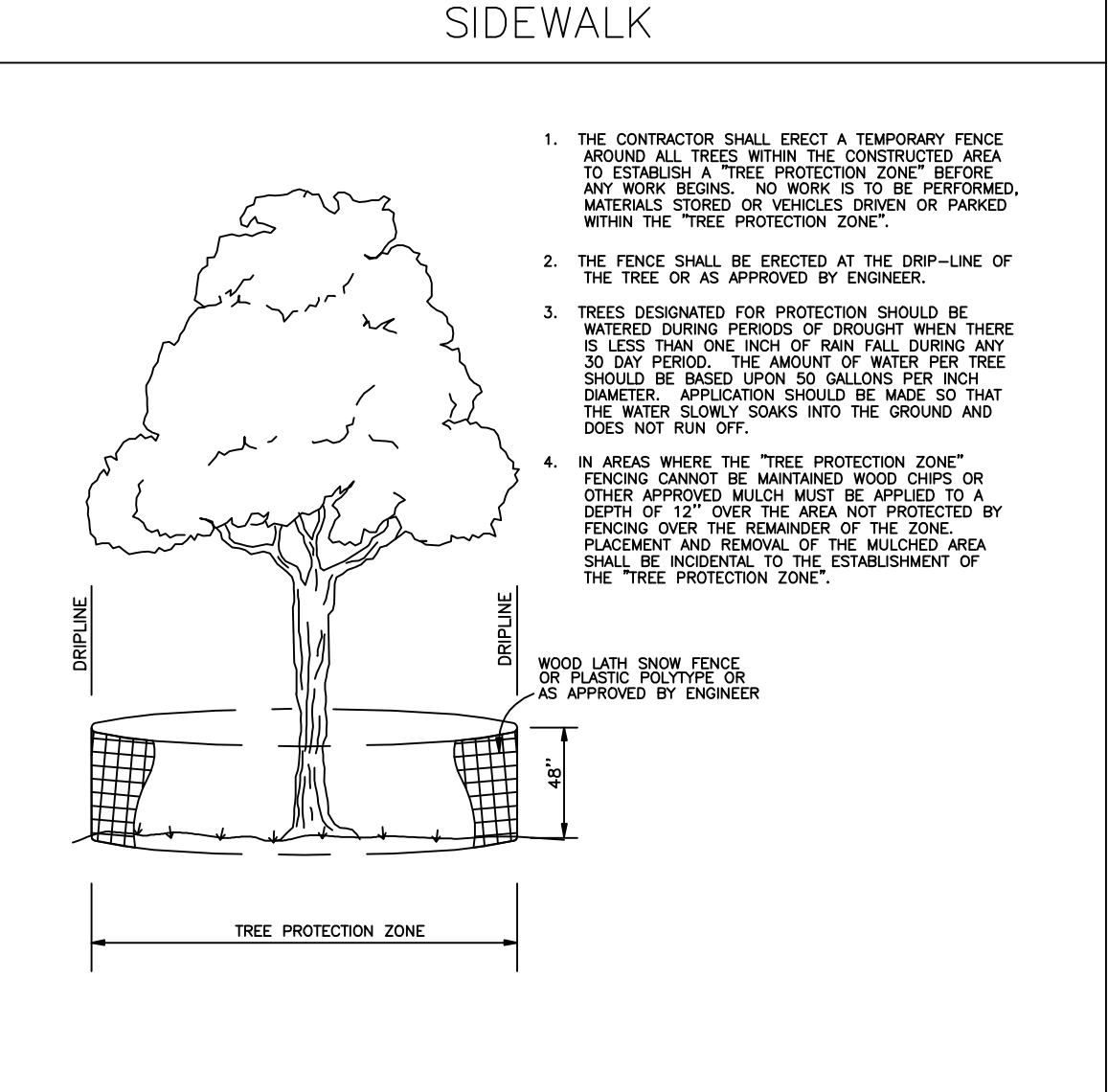
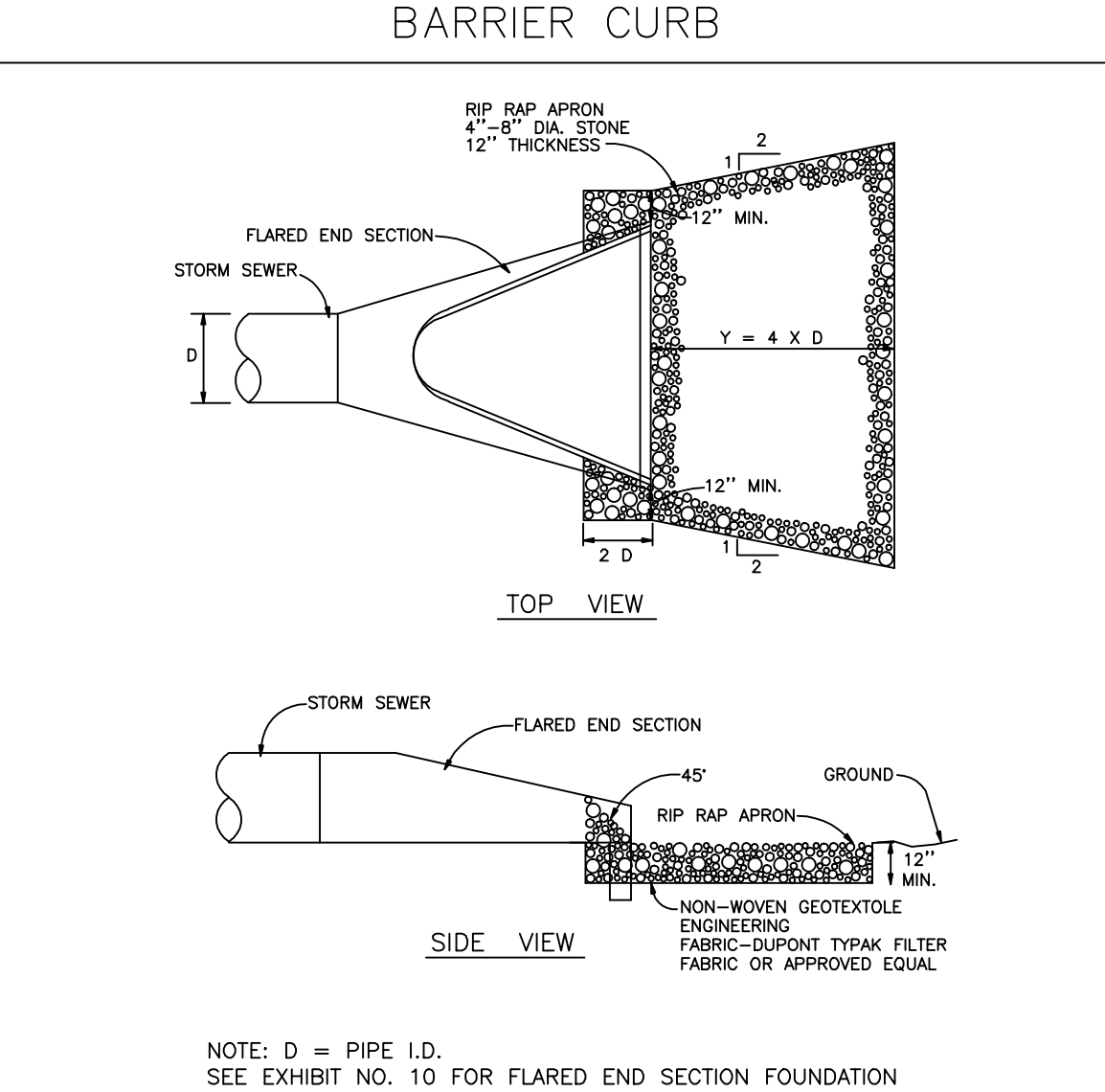
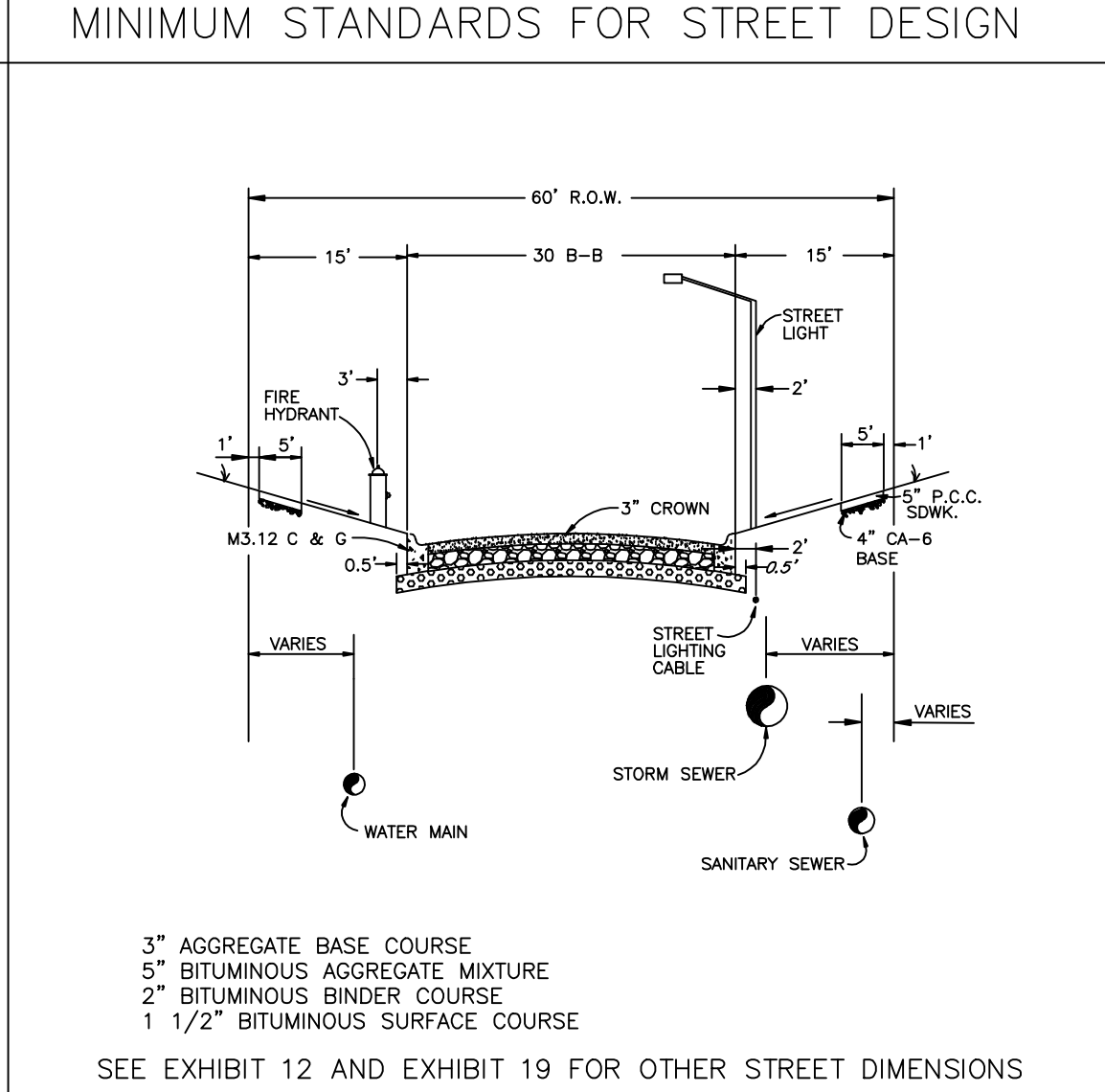
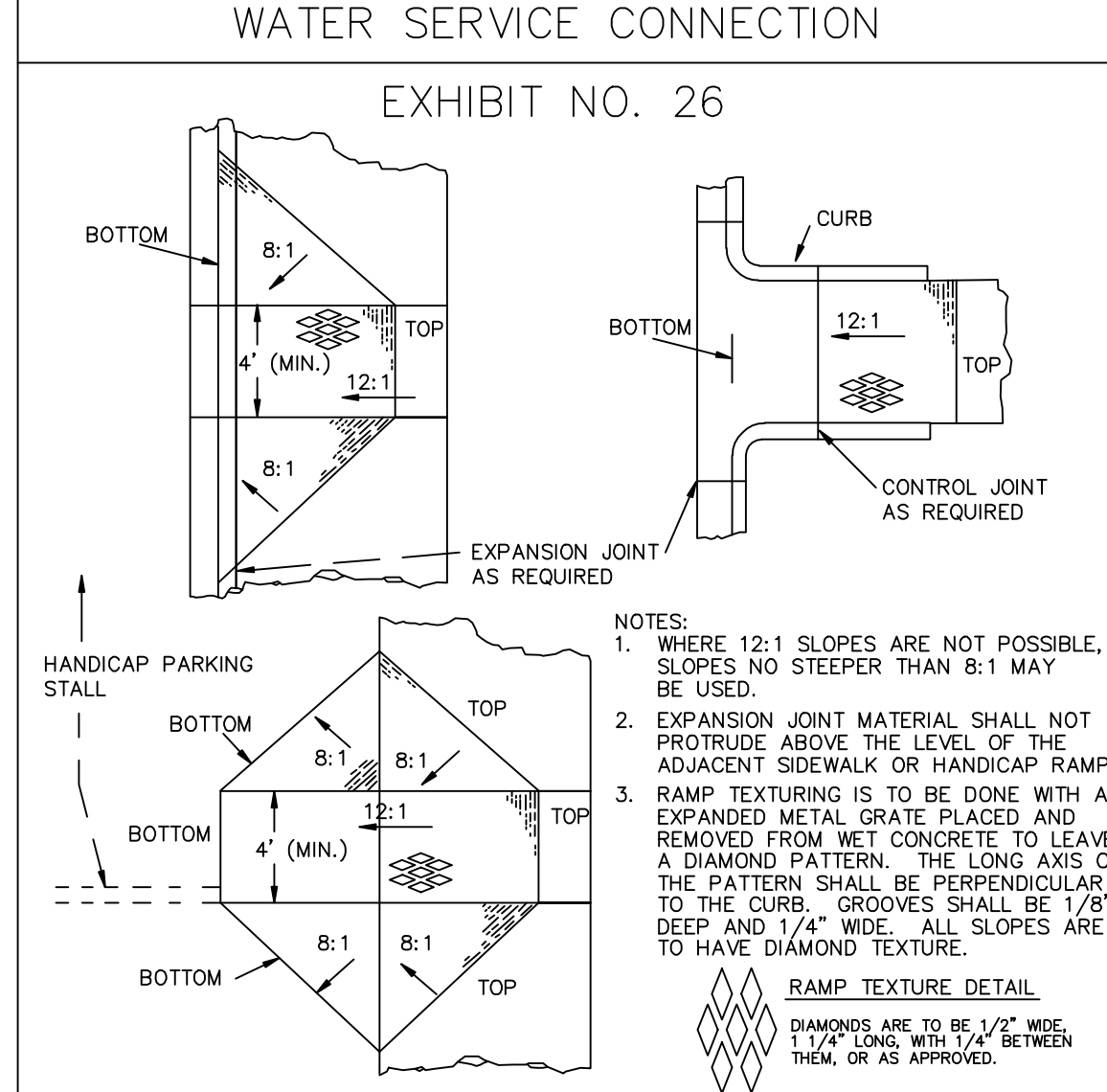
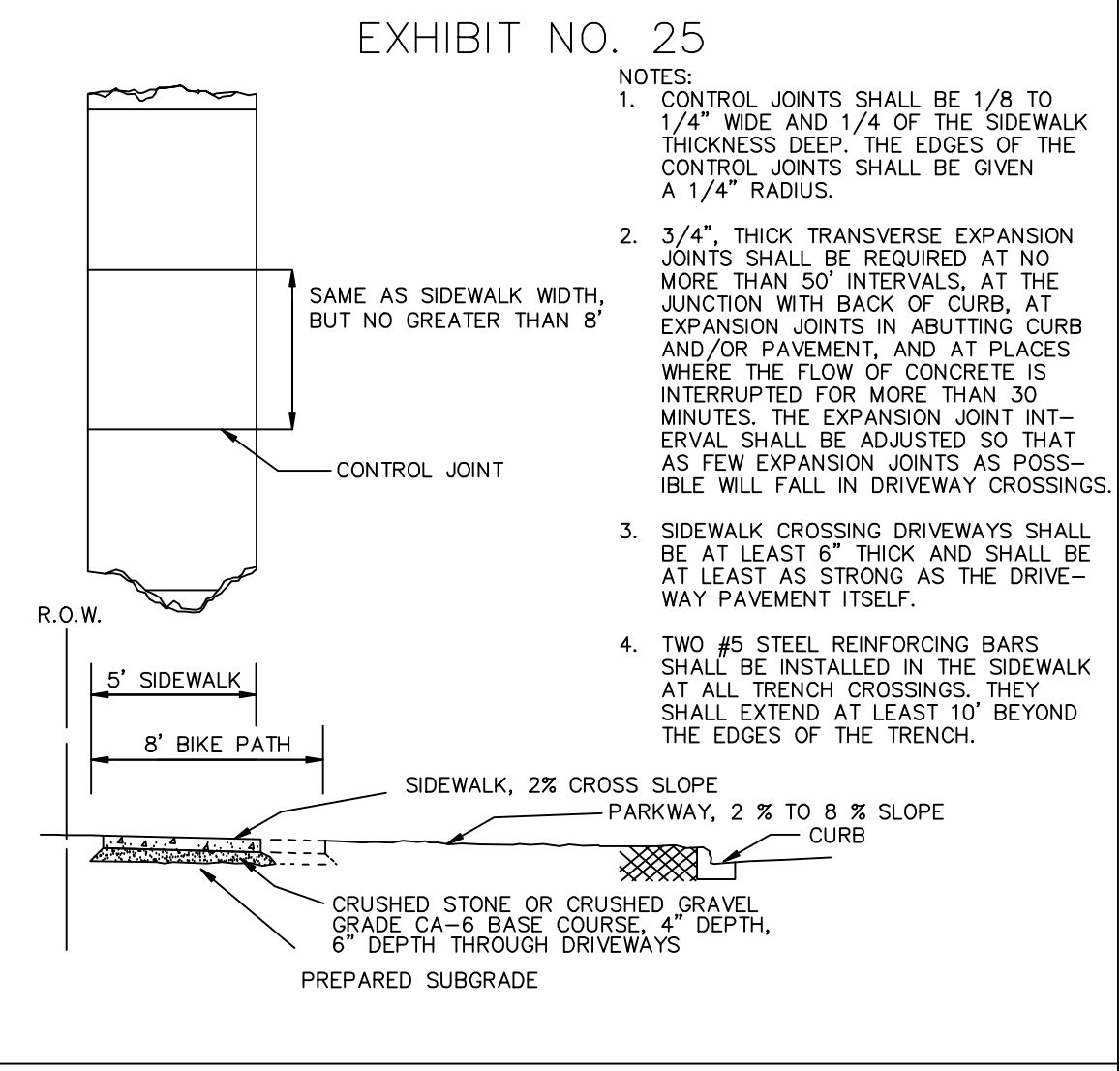
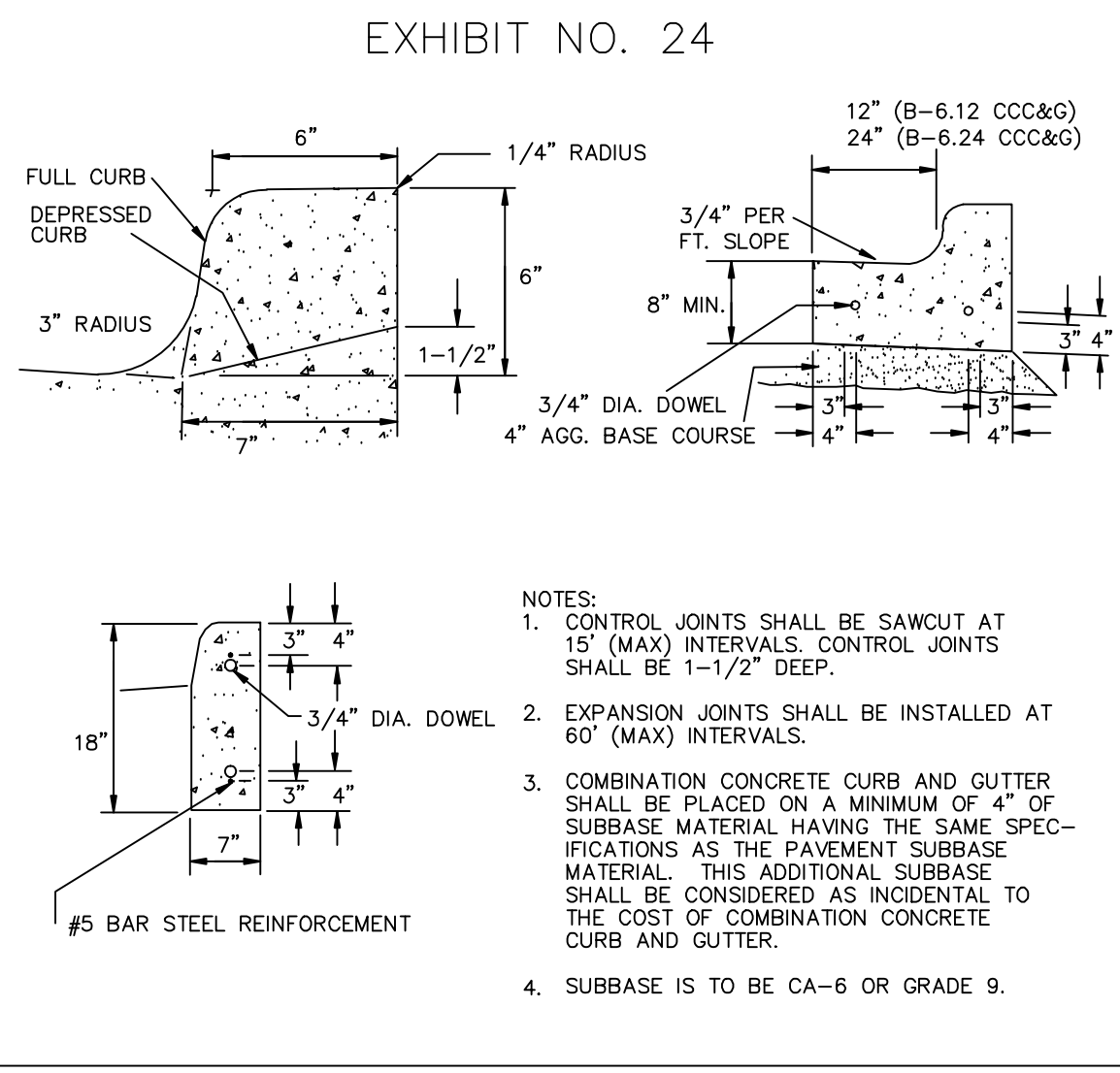
- Watermains shall not be exposed for any reason without the approval of the Superintendent - Utilities.
- Filling mains, pressure connections, pressure tests, tie-ins, and chlorinations require 48-hour notification to the Superintendent - Utilities.
- Pressure connections and tie-ins to the Village systems will be scheduled and witnessed by the Utilities Division personnel.
- Once mains are tied to the Village system, no valves or hydrants shall be operated by anyone other than Utility Division personnel.
- Filling and flushing will be done by the Utilities Division only.
- Water for pressure tests will be supplied by the Utilities Division, but it is the responsibility of the contractor to provide a backflow preventer or an approved anti-siphon method before the pump.
- Corporation cocks and 1" copper lines for the chlorination and sampling shall be installed at locations determined by the Utilities Division.
- Chlorination will not be performed on service lines until all first permanent water valves are installed.
- Water vaults for 8" valves and larger must have an inside diameter of 60".



**EXHIBIT NO. 19**

STREET	RIGHT-OF-WAY WIDTH	PAVEMENT WIDTH	HORIZ. CURVES	LENGTH OF CURVES	TANGENT BETWEEN CURVES	REVERSE CURVES	MAXIMUM GRADE	MINIMUM GRADE	CLEAR SIGHT DISTANCE
MAJOR	100 FT.	54 FT.	500 FT.	200 FT.	200 FT.	5%	0.5%	500 FT.	
COLLECTOR	80 FT.	44 FT.	400 FT.	200 FT.	200 FT.	5%	0.5%	400 FT.	
MINOR	60 FT.	30 FT.	150 FT.	100 FT.	100 FT.	6%	0.5%	200 FT.	
CUL-DE-SAC	120 FT.	88 FT.	150 FT.	100 FT.	100 FT.	6%	0.5%	200 FT.	
MARGINAL ACCESS	60 FT.	30 FT.	400 FT.	200 FT.	100 FT.	6%	0.5%	200 FT.	
IN BUSINESS AND INDUSTRIAL DIST.	80-100 FT.	54 FT.	500 FT.	200 FT.	200 FT.	2%	0.5%	500 FT.	

\*PAVEMENT WIDTHS ARE MEASURED BACK TO BACK OF CURB AND INCLUDE ADDITIONAL WIDTH FOR ON-STREET PARKING.  
 (a) FIFTY (50) FEET FOR EACH ONE (1) PERCENT ALGEBRAIC DIFFERENCE OF GRADE BUT IN NO CASE LESS THAN TWO HUNDRED (200) FEET.  
 (b) FORTY (40) FEET FOR EACH ONE (1) PERCENT ALGEBRAIC DIFFERENCE OF GRADE BUT IN NO CASE LESS THAN ONE HUNDRED (100) FEET.



VILLAGE OF LAKE ZURICH  
 70 EAST MAIN STREET  
 LAKE ZURICH, IL 60047  
 (847) 540-1694

**REVISIONS**

NO.	DESCRIPTION

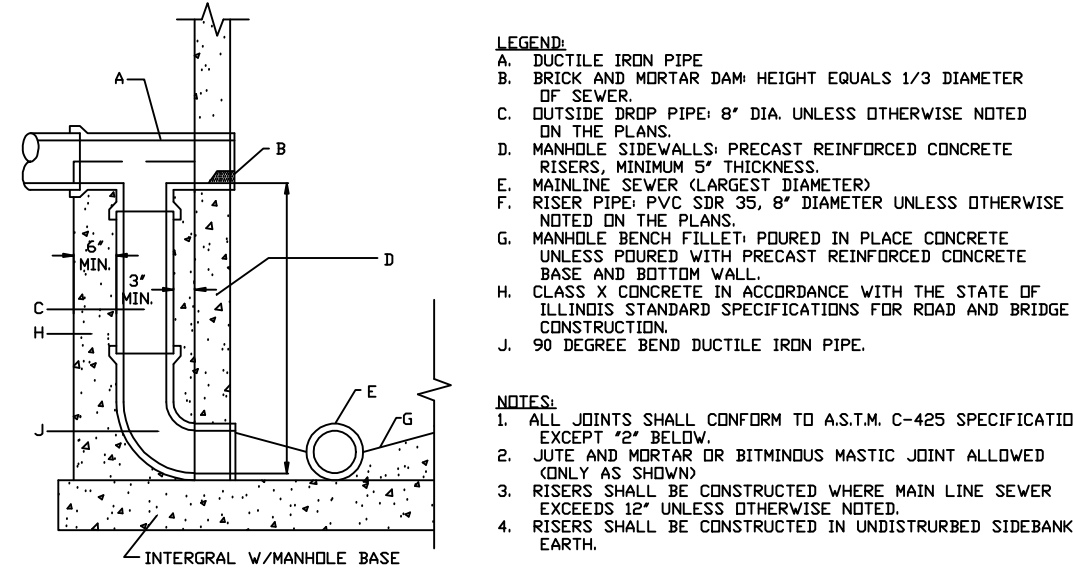
VILLAGE OF LAKE ZURICH DETAILS

SHEET 2

PROJECT NO.	DETAILS	SHEET	3
DATE	1/10/03		
SCALE	NTS		
DESIGNED BY	DTM		
DRAWN BY	EL		
CHECKED BY			

SHEET: C9  
 35 W. MAIN ST  
 LAKE ZURICH, IL  
 DETAIL SHEET  
 2 OF 3  
 OWNERS: Cindaree & David Main  
 Vela Carina LLC  
 564 N. Old Rand Road  
 Lake Zurich, IL 60047  
 779-251-9966  
 cindaree@gmail.com  
 dm3485@icloud.com  
 ARCHITECT:  
 Joe Meyers & Associates  
 135 Park Avenue  
 Barrington, IL 60010  
 (847) 382-0200  
 jmeyers-wichman@ebgglobal.net  
 CIVIL ENGINEER:  
 Dan Grecco  
 1042 Maple Ave, Suite 130  
 Lisle, IL 60532  
 630-745-0524  
 dgrecco@atm.com  
 SCALE  
 AS SHOWN  
 SHEET  
 C9  
 Date  
 JUN 25, 2020

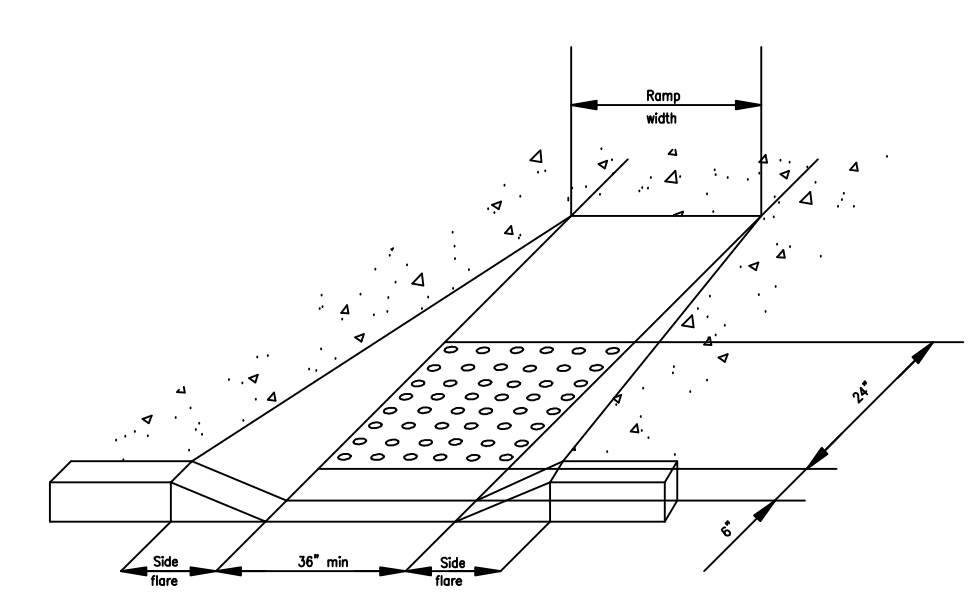
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- LEGEND**
- A. DUCTILE IRON PIPE
  - B. BRICK AND MORTAR DAM HEIGHT EQUALS 1/3 DIAMETER OF SEWER
  - C. OUTSIDE DROP PIPE 8" DIA. UNLESS OTHERWISE NOTED ON THE PLAN
  - D. MANHOLE SIDEWALLS PRECAST REINFORCED CONCRETE RISERS MINIMUM THICKNESS
  - E. MAINLINE SEWER (LARGEST DIAMETER)
  - F. RISER PIPE (PIPE FOR 25, 8" DIAMETER UNLESS OTHERWISE NOTED)
  - G. MANHOLE RINGS (LARGEST DIAMETER) PLACE CONCRETE RINGS AND BOTTOM WALL UNLESS OTHERWISE NOTED
  - H. CLASS 3 CONCRETE IN ACCORDANCE WITH THE STATE OF ILLINOIS STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - I. 90 DEGREE BEND DUCTILE IRON PIPE

- NOTES**
1. ALL JOINTS SHALL CONFORM TO ASTM C-485 SPECIFICATIONS EXCEPT AS SHOWN.
  2. JOINT AND MORTAR OR BITUMINOUS MASTIC JOINT ALLOWED ONLY AS SHOWN.
  3. RISERS SHALL BE CONSTRUCTED WHERE MAIN LINE SEWER EXCEEDS 15' UNLESS OTHERWISE NOTED.
  4. RISERS SHALL BE CONSTRUCTED IN UNDISTURBED SIDEBANK EARTH.

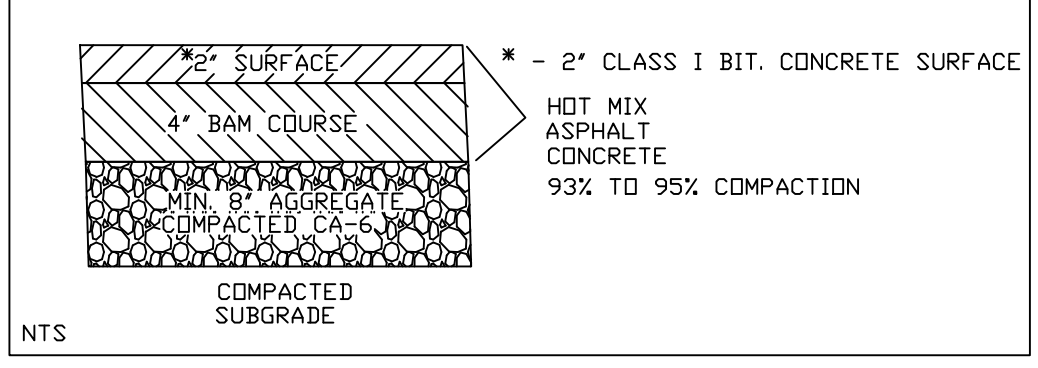
OUTSIDE DROP PIPE DETAIL



TYPE B RAMP

HANDICAP RAMP DETAIL

**PARKING LOT PAVEMENT COMPOSITION DETAIL**



- LEGEND**
- ▭ SURFACE
  - ▭ BAY COURSE
  - ▭ HDT MIX ASPHALT CONCRETE
  - ▭ COMPACTED SUBGRADE

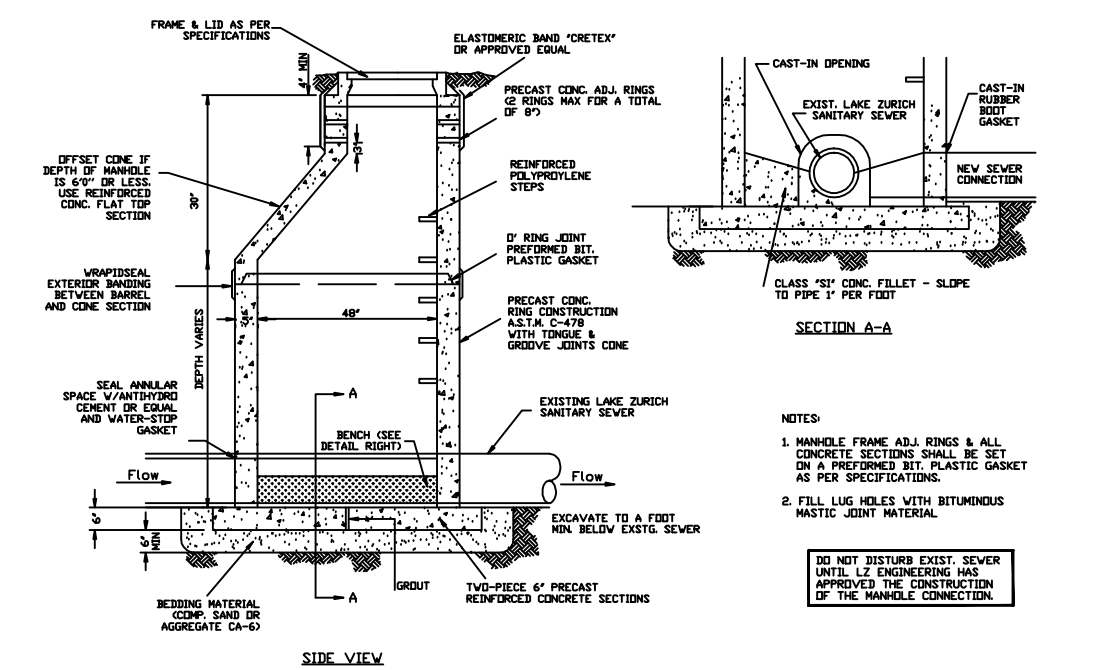
- GENERAL NOTES**
1. THE MAXIMUM SLOPE OF THE SIDE CURB FOR TYPE B RAMP SHALL BE NO GREATER THAN THE VERTICAL OF THE LANDING AREA BETWEEN THE TOP OF THE RAMP AND AN OBSTRUCTION IS LESS THAN 4" THEN THE MAXIMUM SLOPE SHALL BE 1:10
  2. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SHOWN
  3. FINISHED SURFACE TO BE FEDERAL STANDARD COLOR 3066, BOX REC

**LAKE ZURICH ENGINEERING DIVISION SANITARY MANHOLE CONSTRUCTION SEQUENCING**

THE CONTRACTOR SHALL EXCAVATE AT LEAST 18" BELOW THE BOTTOM OF THE EXISTING SANITARY SEWER MAIN AND SET IN PLACE A 6" THICK TWO-PIECE PRECAST REINFORCED CONCRETE BOTTOM COURSE ON A MINIMUM OF 4" THICK COMPACTED AGGREGATE BASE (CA-6). TWO-PIECE BOTTOM SHALL BE LEVEL AND THE SEAM ORIENTATED PERPENDICULAR TO THE MAIN SEWER.

SET-IN PLACE A 4" CRUSHED DIMENSION PRE-CAST REINFORCED CONCRETE RISER SECTION WITH SUFFICIENTLY SIZED OPENINGS OR CUT-OUT COCK HOLES TO PREVENT DIRECT CONTACT WITH THE EXISTING SEWER PIPE. THE RISER SECTION SHALL BE SET ON MASTIC STOPS TO FORM A TIGHT SEAL BETWEEN THE RISER SECTION AND THE SPLIT BOTTOM. THE ANNULAR SPACE BETWEEN THE RISER SECTION AND THE SPLIT BOTTOM SHALL BE FILLED WITH NON-SHRINKING CONCRETE. THE REMAINING SECTIONS OF THE PROPOSED MANHOLE SHALL BE INSTALLED UPON FINISHED GRADE AS INDICATED.

THE REMAINING SPACE AT THE INSIDE BOTTOM OF THE PROPOSED MANHOLE SHALL BE FILLED WITH CLASS 3<sup>+</sup> CONCRETE AND BE REVEALED SMOOTH TO FORM A SLOPED BOTTOM (GRADE) AT THE CENTERLINE OF THE EXISTING SEWER PIPE. UPON ACCEPTANCE OF THE NEW SERVICE AND MANHOLE BY A LAKE ZURICH ENGINEERING OFFICIAL, THE CONTRACTOR SHALL REMOVE THE TOP HALF OF THE EXISTING SEWER PIPE AND SHEET PILE SHARP EDGES WITH HYDRAULIC CONCRETE. THE INVERT OF THE NEW PIPE SHALL BE FORMED SO AS TO DIRECT SEWAGE INTO THE FLOW OF THE MAIN SEWER.



BEDDING DETAILS: PIPES IN SINGLE TRENCHES

STANDARD MH CONSTR. OVER EXSTG SEWER

PIPE DIA.	Y MIN.		Z MIN.	SECTION TRENCH WIDTH RANGE	L
	1/2	3/4			
4"	4"	4"	4"	16" - 26"	15'
6"	4"	6"	4"	16" - 26"	
8"	4"	6"	4"	18" - 30"	15'
10"	4"	6"	4"	20" - 32"	
12"	4"	6"	4"	22" - 34"	15'
15"	4"	6"	4"	26" - 38"	
18"	4"	6"	4"	30" - 42"	15'
24"	4"	6"	4"	33" - 45"	
30"	4"	6"	4"	33" - 45"	15'
36"	4"	6"	4"	33" - 45"	
42"	4"	6"	4"	33" - 45"	15'
48"	4"	6"	4"	33" - 45"	

- NOTES**
1. Y1 SHALL BE USED IN ALL LOCATIONS EXCEPT WHERE Y2 IS SPECIFIED BY THE ENGINEER
  2. Y2 IS TO BE USED IN LOTS OF 15' WHERE THE EXCAVATION IS ROCK OR NEED SOIL CONTAINING UNDESIRABLE LARGE STONES OR OTHER UNDESIRABLE MATERIALS
  3. DIMENSION Y2 SHALL BE INCREASED AT A RATE OF 1/2" PER FOOT, 3/4" COVER IN EXCESS OF 15'
  4. ALL DIMENSIONS ARE IN INCHES AND FEET
  5. CONSTRUCTION METHOD FOR PIPE TRENCHES MUST BE WITHIN THE DESIGN RANGES GIVEN INCLUSIVE OF TRENCH WIDTHS AND PIPE COVERINGS UNLESS OTHERWISE APPROVED BY THE ENGINEER
  6. FILL SHALL BE PLACED IN 6" LIFT WITH 95% COMPACTED
  7. FILL SHALL BE PLACED IN 6" LIFT WITH 95% COMPACTED
  8. FILL SHALL BE PLACED IN 6" LIFT WITH 95% COMPACTED

**TABLE OF DIMENSIONS BARRIER CURBS**

TYPE	A	B	C	D	R1	R2
M-206	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2

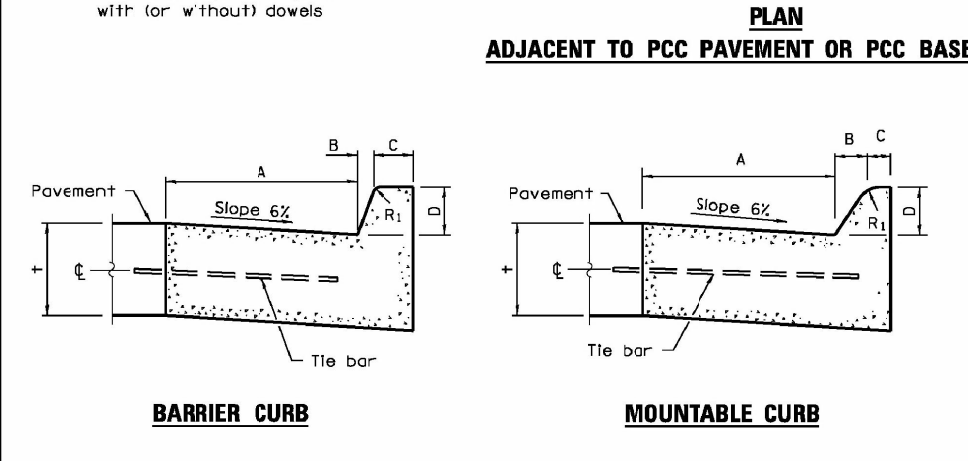
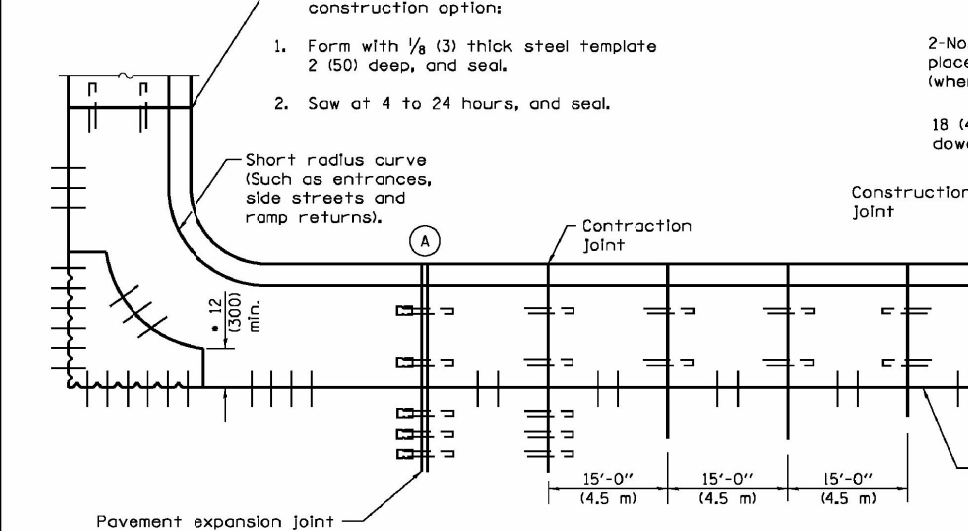
**TABLE OF DIMENSIONS MOUNTABLE CURBS**

TYPE	A	B	C	D	R1	R2
M-206	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2
M-212	12	1	6	6	3	2

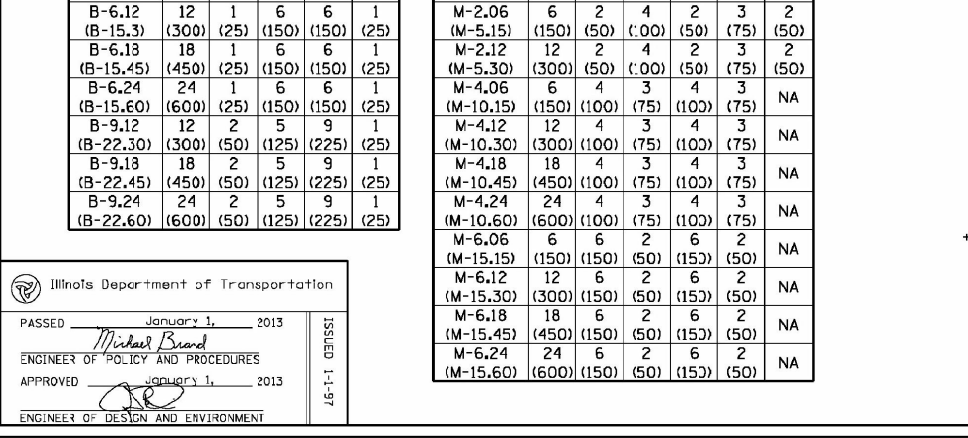
**CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER**

- GENERAL NOTES**
1. The bottom slope of combination curb and gutter constructed adjacent to pcc pavement shall be the same slope as the substrate or 6% when substrate is omitted.
  2. A minimum clearance of 2' (600) between the end of the tie bar and the back of the curb shall be maintained.
  3. The dowl bars shown in construction joints will only be required for monolithic construction.
  4. All dimensions are in inches unless otherwise shown.

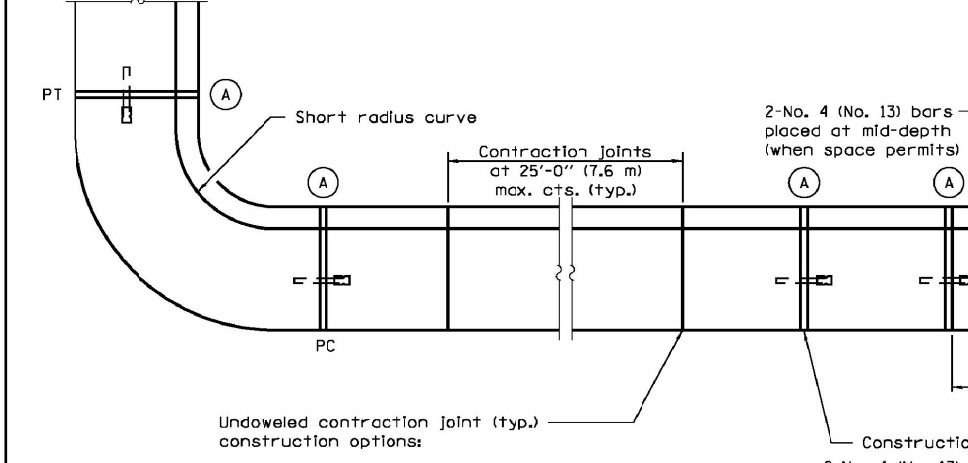
**CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER**



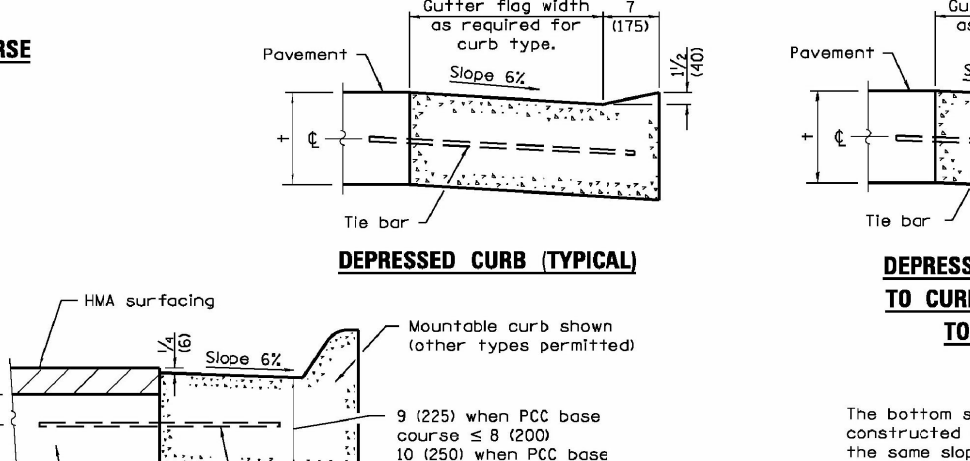
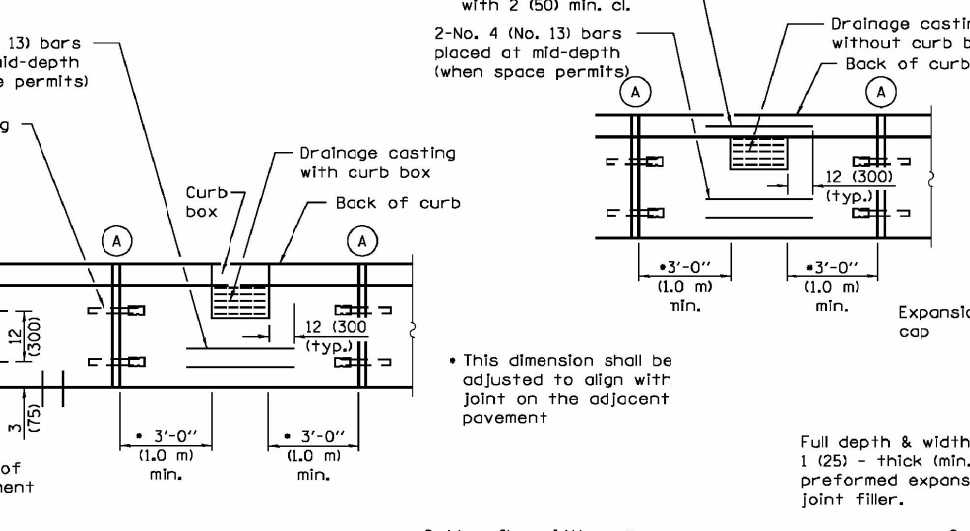
**CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER**



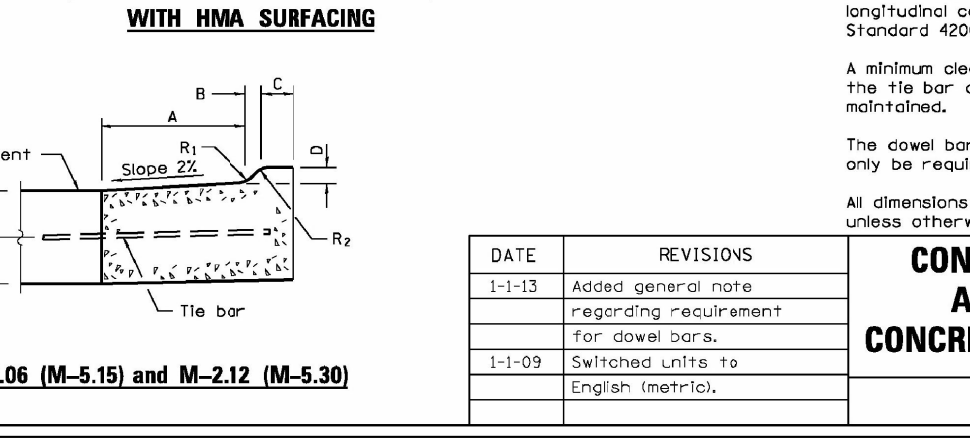
**CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER**



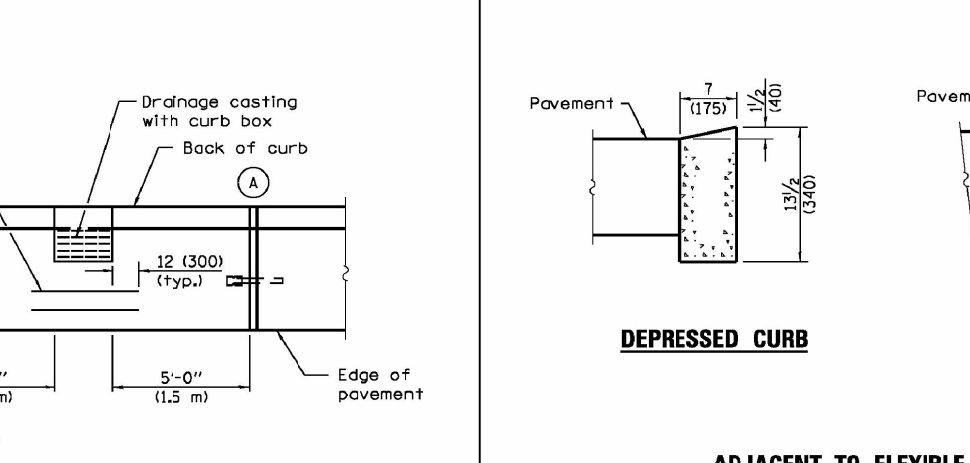
**CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER**



**CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER**



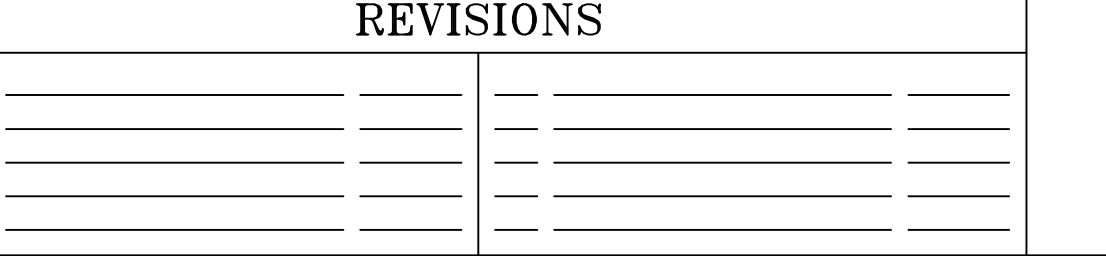
**CONCRETE CURB TYPE B AND COMBINATION CONCRETE CURB AND GUTTER**



**MASS CONCRETE ARCH**

VILLAGE OF LAKE ZURICH  
70 EAST MAIN STREET  
LAKE ZURICH, IL 60047  
(847) 540-1694

**FLEXIBLE JOINT**



VILLAGE OF LAKE ZURICH DETAILS / ADDITIONAL I.D.O.T. DETAILS

**REVISIONS**

NO.	DATE	DESCRIPTION

**PROJECT NO. DETAILS SHEET 2003**

DATE 7/31/03  
SCALE NTS  
DESIGNED BY RK  
DRAWN BY RK  
CHECKED BY EL

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PROJECT NO. \_\_\_\_\_  
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